

- SUBDIVISION WAIVERS GRANTED:
- FROM 4.1.3.6. STREETS SHALL BE LAID OUT SO AS TO INTERSECT WITH ADJACENT STREETS OR ADJACENT UNSUBDIVIDED LAND AT INTERVALS OF FROM SIX HUNDRED FEET (600') TO TWELVE HUNDRED FEET (1200').

AT THE INTERSECTION OF MILLSTONE DRIVE AND PLEASANT STREET THE OFFSET IS 550 FEET FROM SUNRISE AVENUE TO THE NORTH AND 400 FEET FROM GRIST MILL ROAD TO THE SOUTH.
 - FROM 4.1.6.3. HOWEVER, IF THEY ARE NECESSARY FOR SUBDIVISIONS WITH MINOR STREETS OR COMMON DRIVEWAYS, DEAD END STREETS AND THEIR EXTENSIONS OR SEGMENTS, IF ANY, SHALL NOT BE SHORTER THAN ONE HUNDRED FIFTY FEET (150'), NOR LONGER THAN FIVE HUNDRED FEET (500').

THE ROADWAY LENGTH FROM THE CENTER OF BOTH CUL-DE-SACS TO THE INTERSECTION OF MILLSTONE DRIVE WITH PLEASANT STREET IS FIVE HUNDRED NINETY NINE FEET (599').
 - FROM 5.3.2. SEWERS SHALL BE INSTALLED IN THE CENTER OF THE STREET AS NEARLY AS PRACTICAL AT A MINIMUM DEPTH OF SEVEN FEET SIX INCHES (7' 6") OF COVER IN THE TRAVELLED WAY.

THE MINIMUM COVER OF THE SEWER AT THE INTERSECTION OF PLEASANT STREET AND MILLSTONE DRIVE IS FIVE FEET TWO INCHES (5' 2").
 - FROM 5.4.2.2. AT LEAST FOUR FEET (4') OF COVER WILL BE REQUIRED OVER DRAIN PIPES, WHERE SPECIAL CONDITIONS OF TOPOGRAPHY AND/OR HYDROLOGY ARE DEEMED TO JUSTIFY THE BOARD'S APPROVAL OF PIPE WITH LESS THAN FOUR FEET (4') OF COVER THE BOARD MAY REQUIRE OTHER MATERIALS OR METHODS OF CONSTRUCTION TO MEET SUCH CONDITIONS.

THE MINIMUM COVER OVER THE DRAIN PIPES ON MILLSTONE DRIVE AT THE INTERSECTION WITH PLEASANT STREET IS TWO FEET TWO INCHES (2' 2").

RECORD APPLICANT:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MA 01581

RECORD OWNERS:
MAP 97 PARCEL 22A
MAINTANIS REALTY TRUST
102 PLEASANT STREET
GRAFTON, MA 01519

MAP 98 PARCEL 2
WILLIAM J. & MARY J. MAINTANIS
& STEPHEN A. WILSON
102 PLEASANT STREET
GRAFTON, MA 01519

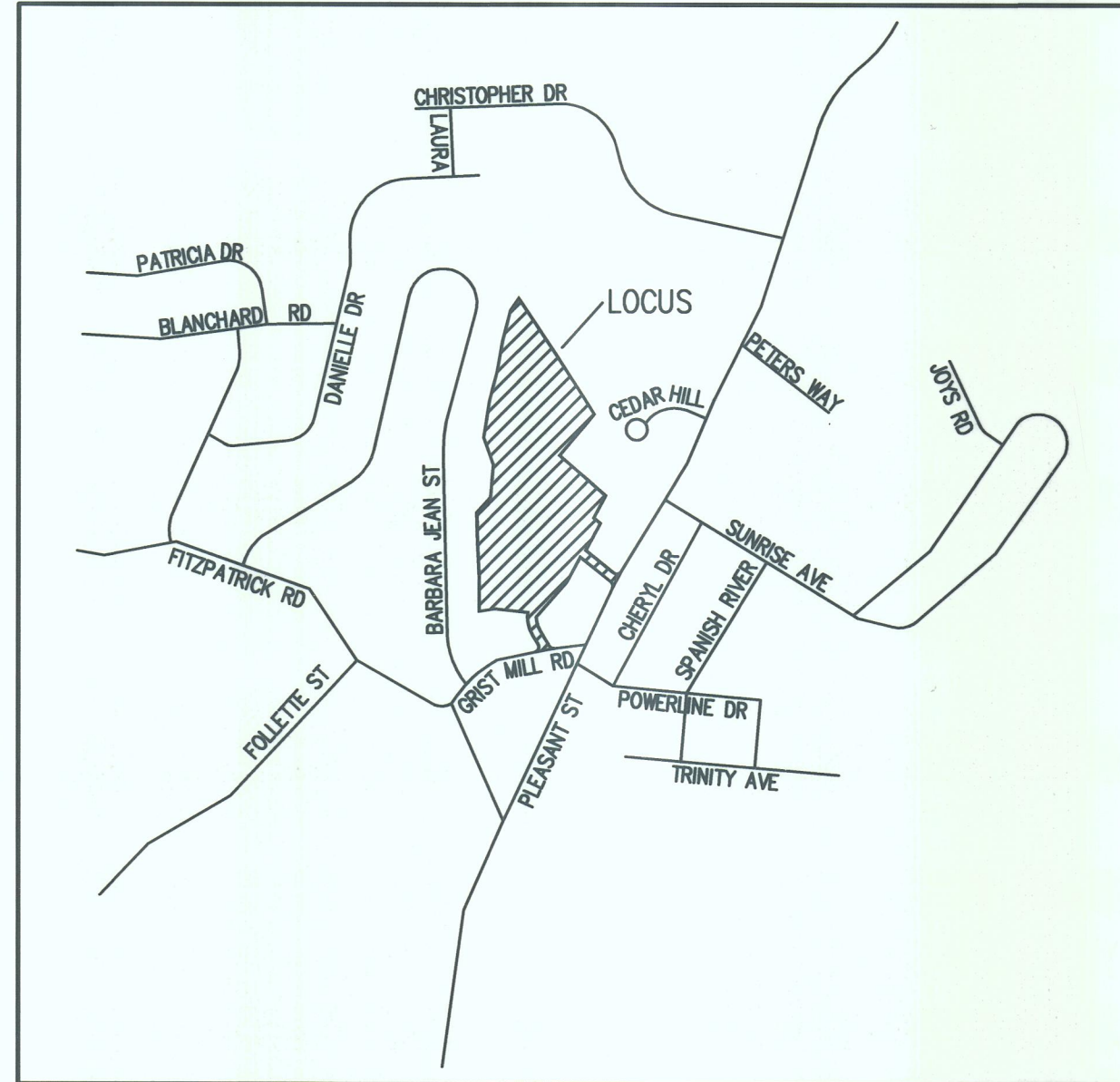
LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MA 01545

LAND SURVEYORS:
GUERRIERE & HALNON INC.
38 POND STREET, SUITE 206
FRANKLIN, MA 02038

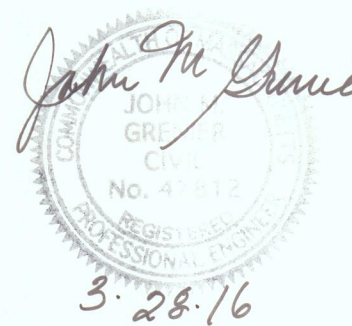
ATLAS LAND SURVEYING INC.
8 MOORE LANE
NORTHBOROUGH, MA 01532

ZONING DISTRICT: LOW DENSITY RESIDENTIAL (R-40)
OVERLAY DISTRICT: WATER SUPPLY PROTECTION

"GRISTMILL VILLAGE" DEFINITIVE PLAN CONVENTIONAL DEVELOPMENT GRAFTON, MASSACHUSETTS 01519



LOCUS MAP
SCALE: 1"=1000'



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GRAFTON PLANNING BOARD
APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signatures]

DATE: 5-16-2016

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] 5-17-2016
TOWN CLERK DATE

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVENANT DATED _____ RECORDED AT
WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.

4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION
SCALE: AS SHOWN		DATE: MARCH 13, 2015
COVER SHEET		
SHEET NO.: SHEET 1 OF 18		PROJECT NO.: G-353

CONDITIONS OF APPROVAL

A. Standard Conditions

1. This Approval shall not be construed as approving the buildability of any lots shown on the Plans. All applicable Federal, State or other Local permits/approvals must be obtained for each lot prior to construction on said lot.
2. This Approval shall not be construed as final approval of any on- or off-site improvements or work (such as water, sewer, drainage, or other utilities installation) associated with this project and shown on the Plans. All applicable Federal, State and Local approvals/permits shall be obtained by the Applicant prior to the construction of any portion of the development or off-site improvements that warrant such approvals/permits. All applicable requirements of the Grafton Water District, Grafton Board of Sewer Commissioners/Sewer Department, Grafton Police Department, Grafton Department of Public Works, and all other applicable utilities, are hereby incorporated by reference as a requirement of this Decision.
3. Any modification to the approved Plans shall require, prior to implementing such change, a determination from the Planning Board as to whether the proposed change is substantially different than presented in the materials and information used in making this Decision. The Planning Board reserves the right to solicit comments from other Town boards, departments and committees, as well as its consulting engineer, in making determinations regarding such changes. The Planning Board may, upon its determination, require a modification of this Decision if it finds that the proposed changes are substantial in nature and of public concern, and substantially alter the plans and information used in making this Decision. Any Modification of this Decision shall be made pursuant to Section 3.3 of the Subdivision Rules and Regulations.
4. The Planning Board reserves the right, pursuant to the Subdivision Rules and Regulations and Section 1.5.1.1 of the Zoning By-Law, to utilize the services of a professional engineer in reviewing any materials required to be submitted as conditions of this Decision, and conducting any inspections or other work associated with the construction of the subdivision.
5. All site development and construction shall be performed in accordance with the approved Plans and the Rules and Regulations Governing the Subdivision of Land: Grafton, Massachusetts (revised through 4/27/09), as well as with all applicable Federal, State and Town laws, ordinances and regulations. In the event of a discrepancy between the Plans and the Rules and Regulations, and absent clarification or approval of such discrepancy stated within the Findings or Conditions of this Decision or any related Special Permit, the requirements of the Rules and Regulations shall apply. All required permits and approvals shall be secured by the Applicant at the appropriate stage of construction and copies of all pertinent documents regarding said permits and approvals shall be filed with the Planning Board in a timely manner.
6. Construction of the improvements shown on the Plans approved as part of this Decision is subject to approval by the Grafton Conservation Commission. Any Order of Conditions and/or permits issued by the Conservation Commission with respect to this Application are hereby incorporated by reference and shall constitute a condition of this Decision. If such Order of Conditions and/or permits require substantial modifications to any of the plans approved by the Planning Board, the Board may, upon its determination, require a modification of this Decision if it finds that the proposed changes are substantial in nature and of public concern, and substantially alter the plans and information used in making this Decision. Any change in fencing requirements specified plans and information used by the Planning Board for the purposes stated in this Condition.
7. The Developer / Applicant shall meet the requirements of the Sewer Department as identified in EXHIBIT #6 and agreed upon by the Applicant (see FINDING #F18).
8. All grading and construction shall be performed in accordance with the Plan, as well as all applicable Federal, State and Local regulations, and shall be accomplished so as not to discharge any non-permitted pollutants or siltation into waterways during construction or after completion of the subdivision.
9. Construction and installation of the roadway and municipal services shall only occur Monday through Saturday between the hours of 7:00 a.m. and 5:00 p.m., and there shall be no construction activity on State or Federal holidays.
10. The Applicant, their successors and assigns, will not sell any lot in the subdivision or erect or place any permanent building on any such lot until the construction of ways and municipal services necessary to adequately serve such lot has been completed in accordance with the approved Plans and the Rules and Regulations. In the event of a discrepancy between the Plans and the Rules and Regulations, and absent clarification or approval of such discrepancy stated within the Findings or Conditions of this Decision, the requirements of the Rules and Regulations shall apply.
11. The Definitive Plan shall be submitted for endorsement within six (6) months following approval.
12. This Definitive Plan Approval Decision shall be recorded in the Worcester District Registry of Deeds (WDRD) prior to any ongoing Town review and / or peer review associated with conditions set forth in this Decision. The Applicant shall submit evidence to the Planning Board that this Decision has been recorded at the WDRD, including a copy of such recording bearing the WDRD Book and Page Number and/or Instrument Number. Any such Plan(s) submitted to the Planning Board for approval shall contain reference to this Decision, as well as other related approvals, indicating that such plans are prepared pursuant to said Decision(s)/Approval(s) and shall include WDRD recording information, including Book and Page numbers. By recording this Definitive Plan Approval Decision in the Worcester Registry of Deeds, the Applicant agrees to and accepts the conditions set forth in this Special Permit Decision, and which acceptance shall bind the Applicant and its successors and assigns.
13. The Approved Definitive Plan, Drainage Easements, Sight Line Easement and Covenant shall be recorded at the Worcester District Registry of Deeds. The Applicant / Developer shall notify the Planning Board within ten (10) days of the recording of all pages of the approved documents and will notify the Board in writing, presenting evidence of the recording (See Section 3.3.9.1 of the Subdivision Rules and Regulations.)
14. All construction and site improvements shall be completed within two years of the date of plan endorsement or thirty (30) months from the date of this Decision, whichever occurs sooner. This Decision shall lapse after said applicable time period, and no other work may occur, and the subdivision approval shall be deemed automatically rescinded unless the Planning Board grants an extension pursuant to the Subdivision Rules and Regulations. Requests for extensions shall require a public hearing in accordance with all applicable requirements for conducting such hearings.
15. Any inability or failure or refusal by the Applicant to comply with the Conditions of this Decision, when notified of failure of compliance, shall be grounds for the immediate denial of building, construction or occupancy permits with respect to this project.

B. Conditions to be met prior to Plan Endorsement

1. The Applicant shall resolve to the satisfaction of the Board, by an affirmative vote of at least three (3) Board members, all outstanding technical items identified in the comments submitted by Graves Engineering on November 20, 2015 (see EXHIBIT #38) which identifies the following work items:
- a. Per MassDEP's Stormwater Handbook, an infiltration facility needs to be at least 100 feet from a well. It was estimated that the proposed the setback is approximately 88 feet from the abutter's well. The Board's peer review consultant, Graves Engineering, noted that the plans should be clearer by providing a note on the utility plan (Sheet 9) that the dwelling at 96 Pleasant Street is to be connected to the sanitary sewer system and that the existing septic system is to be removed in accordance with Title V requirements. The Applicant shall revise the plan set to address this comment.
- b. Although the design engineer replied that a cost estimate has now been provided as part of the operation and Maintenance Plan, we could not find the cost estimate. A cost estimate will need to be added to the project documents.
- c. The revised hydrology computations are generally in order. There are two minor issues with modeling of the detention basin outlet. The outlet control structure consists of a grate and an outlet pipe for which only the grate was modeled. The first issue is that pipe's capacity is more restrictive than the grate, therefore the pipe should be included in the model. This revision will decrease the calculated peak discharge rate with minimal effect on the elevation to which water would be impounded in the basin. Secondly, for the record the grate should be modeled as rectangular instead of circular; nevertheless the capacity of the grate/pipe's outlet structure will be governed by the pipe so this revision will have no effect on the calculated discharge rates.
2. The Conditions set forth in this Decision shall be inscribed on a sheet of the Plans suitable for recording at the Worcester Registry of Deeds (WDRD). Such sheets shall be so recorded as part of the Definitive Plan. Reference to these Conditions, as well as the WDRD Book and Page number of the recorded Decision (see Condition A12) and the corresponding sheet numbers shall also be inscribed on any sheet(s) that do not contain the Conditions of Approval.
3. The plans shall be revised to sequentially to reflect the sheet numbers cataloged on the Cover Sheet, specifically Sheet 4 and Sheet 5.
4. The plans shall be revised to correct the typographical error regarding the waiver from Section 4.1.3.6 (not 3.1.3.6) on the Cover Sheet and Sheet 5.
5. The Applicant / Developer shall provide a performance guarantee pursuant to Section 3.3.8 of the Subdivision Rules and Regulations which state: "Construction and installation within the site property shall be secured by one, or in part by one and part by another, of the following methods which may, from time to time, be varied by the Applicant. Said security shall be posted and approved by the Planning Board prior to the construction, installation or sale of lots. Construction and installation within existing street right-of-ways shall be secured by surety as required under the Street Opening and / or other Permit(s)."
6. All applicable requirements of Section 3.3.7 of the Rules and Regulations Governing the Subdivision of Land: Grafton, Massachusetts (revised through 4/27/09) shall be satisfied.
7. The Applicant shall revise the plans to reflect the requirements of the Grafton Water District regarding the amount of cover over the water line to be placed over the new sewer line at the intersection of the Pleasant Street and the new subdivision entrance road (see EXHIBIT #41 and WAIVER #W4). The Applicant shall work with the Grafton Water District and the Board's peer review engineer to ensure compliance with GWD requirements. The Applicant shall submit a letter of compliance from the Grafton Water District to the Planning Board to be entered into the project file.

C. Conditions to be satisfied prior to the Start of Any Construction Activity

1. Prior to the commencement of work, the Planning Board shall be provided with the following:
- a. Five (5) full size, 24" x 36", endorsed and recorded plan sets, one of which shall be sent directly to the Town's peer review consulting engineer.
- b. An electronic copy of the endorsed and recorded plan set. The electronic copy shall be in a "PDF" compatible format.
2. All visual obstructions including, but not limited to, vegetation, rocks and physical structures such as fencing associated with the sight easement at 102 Pleasant Street shall be removed by the Developer. Work shall be completed under the supervision and final approval of the Planning Board or its Agent in coordination with the Department of Public Works Highway Superintendent.
3. The Applicant / Developer shall submit acceptable construction and maintenance schedule documents in accordance with Section 3.3.7.3 of the Subdivision Rules and Regulations.
4. Soil testing within the drainage easement as it relates to the Subsurface Recharge System is required considering the rock that was observed at test pit TP-1 (Millstone Drive station 2+504/-). Two test holes are required. Work to be coordinated and witnessed by the Planning Board's agent and results are to be submitted to the Town and its agent. If the soil testing does not fully support the current design of the infiltration system, design revisions shall be required and approved by the Planning Board in accordance with the Conditions of this Decision. (See EXHIBIT #38).
5. The Applicant / Developer shall install orange snow fencing around the limits of work as shown on Sheet 8 of the revised plan set (EXHIBIT #31) for the purpose of maintaining the existing tree cover as shown on the plan. Fencing shall be inspected by the Planning Board or its Agent and receive approval thereof prior to the commencement of construction activity on site. The Developer shall maintain fencing throughout the construction of the development. The fencing shall be inspected periodically by the Board or its Agent to ensure compliance.
6. The Applicant / Developer shall install orange snow fencing around the Heritage Trees as shown on Sheet 8 of the revised plan set (EXHIBIT #31). The Developer will coordinate with the Town Planner and the Tree Warden to as to final location of the area to be set off by fencing. Installing of fencing shall be inspected by the Town Planner and Tree Warden and will receive approval thereof prior to the commencement of construction activity on site. The Developer shall maintain fencing throughout the construction of the development. The fencing shall be inspected periodically by the Board or its Agent to ensure compliance.
7. An initial inspection of erosion control /site stabilization measures shall be performed by agent(s) of both the Planning Board and Conservation Commission in the presence of a representative of the Applicant / Developer, and notice of such inspection forwarded to both Boards. No construction activity shall occur on the Site until the Applicant / Developer receives written authorization from both the Planning Board and Conservation Commission regarding the adequacy of the initial erosion control and site stabilization measures. The Planning Board reserves the right to require additional erosion control/site stabilization measures at any time during the construction process should the Planning Board, Conservation Commission, or their agent(s) deem such measures necessary. The Applicant / Developer shall be notified in writing of the necessity for such additional measures, and shall complete all such requirements within ten (10) days of receiving said notice, or other time as may be agreed upon by both the Planning Board and Conservation Commission.
8. Prior to commencing any work within Pleasant Street, a public way, all required permits / approvals shall be obtained from the Grafton Department of Public Works.
9. In accordance with the National Pollutant Discharge Elimination System (NPDES) Phase II requirements, a Stormwater Pollution Prevention Plan shall be maintained at all times on the Site by the Applicant / Developer. A copy of this document shall be forwarded to the Planning Board, Conservation Commission and Department of Public Works prior to commencing any construction activity.
10. Prior to commencing any site work, the Applicant or their designee, the Town Planner, and the Planning Board's consulting engineer shall visit the site to establish a "no disturb area" around the Heritage Trees area on Lots 2 and 3. The rear detention basin and said "no disturb" areas shall be delineated by erosion control fencing with orange construction fencing, which shall be maintained throughout construction.

D. Conditions to be met During Construction

1. The Site shall be inspected on a weekly basis by an agent of the Planning Board and/or Conservation Commission in the presence of a representative of the Applicant / Developer, in order to monitor the stormwater management system/facilities and erosion control/site stabilization measures. The frequency of inspections may be decreased only upon written authorization by the Planning Board and/or its agent. The Applicant / Developer shall be notified in writing of the necessity for such additional measures, and shall complete all such requirements within ten (10) days of receiving said notice, or other time as agreed upon by both the Planning Board and Conservation Commission.
2. All site construction, development and improvements shall be inspected at the appropriate stage(s) of construction by the Planning Board or its agent upon request made by the Applicant to the Planning Board or its agent, in accordance with any policies for such requests.
3. Except as otherwise approved by the Planning Board, all driveways, roadways, utilities and other improvements shall conform to the construction standards of the Subdivision Rules and Regulations. All site improvements shall be inspected at the appropriate stage of construction in accordance with the Rules and Regulations and as required by the Board.
4. In no case shall additional filling or land disturbance occur that results in a steeper slope or a slope that encroaches on the roadway to a greater degree than shown on the plans without the expressed prior approval of the Planning Board.
5. The Town reserves the right to require reasonable additional construction techniques, for either on-site or off-site work, in response to actual field conditions, effects of construction methods and as the situation warrants. This may include, without limitation, earth work, purchase and installation of materials, infrastructure, etc., and lot drainage issues.
6. Driveway slopes, both within and outside the right-of-way shall comply with the Subdivision Rules and Regulations, and development of individual lots shall not cause detrimental drainage, erosion or sedimentation onto adjacent property, roadways or lots. Driveways shall not exceed 10% in slope without prior approval by the Planning Department and Fire Department.
7. All construction vehicles and vehicles of all workers are to be parked on site. Parking of construction vehicles on Pleasant Street is specifically prohibited, except during the period of the initial clearing of the property. Parking of construction vehicles on Grist Mill Road is specifically prohibited both during the period of the initial clearing of the property and during any phase of construction.
8. The Applicant shall take all necessary measures to minimize dust from rising and blowing across the site and onto roads and adjacent properties. Any sediment or dirt tracked onto public ways shall be swept prior to the end of the construction day.
9. Once the plant materials associated with the approved tree plan have arrived on site, and prior to their installation, the Planning Board's agent shall be contacted to arrange an inspection and to approve the size, quantity and species of plant materials prior to their installation in the ground. De minimus changes limited to the exact location of species and planting materials may be approved by the Town Planner upon consultation with the Tree Warden provided the intent of the material is maintained.

E. Conditions to be met prior to Release of Lots or Reduction of Surety

1. Deed restrictions for Lots 4 through 10 which delineate "no disturb, no cut" areas for each lot shall be submitted to the Planning Board or its agent for approval. Draft "no disturb area" deed language shall be submitted for approval to the Planning Board or its Agent. Final approval of draft deed restriction language shall be granted via correspondence from the Planning Board or its agent. The Applicant / Developer shall be responsible for recording the approved deed restrictions at the Worcester District Registry of Deeds (WDRD) and provide evidence to the Planning Board, including a copy of such recording bearing the WDRD Book and Page Number and/or Instrument Number. All lot release requests submitted to the Planning Board will include reference to the deed restrictions on said lots.
2. The "no disturb, no cut" area around the Heritage Trees on Lots 3 and 5 identified on the plans shall be referenced as "no disturb areas" and will be protected through deed restrictions to be filed at the Worcester District Registry of Deeds. Draft "no disturb area" deed language shall be submitted for approval to the Planning Board or its Agent. Final approval of draft deed restriction language shall be granted via correspondence from the Planning Board or its agent. The Applicant / Developer shall be responsible for recording the approved deed restrictions at the Worcester District Registry of Deeds (WDRD) and provide evidence to the Planning Board, including a copy of such recording bearing the WDRD Book and Page Number and/or Instrument Number. All lot release requests submitted to the Planning Board will include reference to the deed restrictions on said lots.
3. The Applicant shall submit to the Planning Board written approval from the Grafton DPW Highway Superintendent / Tree Warden a Tree Plan for the proposed species of trees to be used as street trees. The plan submitted for endorsement by the Board shall include all relevant details for said trees (e.g., size, type, planting details, etc.) as approved by the Tree Warden/DPW Director. The Developer shall be responsible for providing additional screening along the abutting property line with 96 Pleasant Street as discussed during the public hearing (see EXHIBIT #16)/
4. As per Section 3.3.10 of the Subdivision Rules and Regulations, prior to the release of any lot or reduction in surety, executed documents in a form acceptable to the Town shall be submitted that grant to the Town all rights regarding the roadway, drainage easements and all other infrastructure.
5. All stormwater management facilities and associated structures, including pipe, loaming, and seeding, shall be completed, and stormwater runoff suitably controlled, to the satisfaction of the Planning Board prior to the release of any lot within that portion of the subdivision.

F. Conditions to be met prior to the Issuance of either a Temporary or Permanent Occupancy Permit

1. The Building inspector shall require proof of the following in consultation with the Town Planner:
- a. A valid and duly recorded Lot Release for said lot in question.
- b. Proof of final approval of the Tree Plan as it pertains to the lot in question. The Town reserves the right to conduct a site inspection of lot to verify that the approved Tree Plan continues to remain valid. In the event that the plant material has failed (either by death or disease) new material will be installed at the expense of the Property Owner and / or its Agent or Builder in accordance with Condition G3. All work to replace plant material will be done to the satisfaction of the Planning Board or its agent and must receive final written approval to be submitted into the Planning Department project file and provided to the Building Department prior to the issuance of an occupancy permit.

G. Conditions to be met prior to Request for Determination of Completeness

1. Prior to acceptance of the way and improvements by the Town, a determination shall be made by the Planning Board, through its designated consulting engineer, as to whether the detention basins, as well as all other improvements, are constructed and operate as designed on the approved plan(s). If a negative determination is made, the Applicant shall, at their own expense, remedy any and all deficiencies to the satisfaction of the Board.
2. A final inspection by the Police Department and Department of Public Works will be conducted to ensure that all public safety signage and roadway markings have met the required standards. The Town reserves the right to require additional public safety controls in the event that site conditions may warrant. The Applicant / Developer shall be responsible to submitting a final approval from both the Police Department and the Department of Public Works that the all signs and other public safety controls have been identified and installed to their satisfaction. This Condition does not nullify or negate the requirements set forth in Section 3.2.11.2.d (Written Evidence of Compliance from Superintendent of Streets) of the Subdivision Rules and Regulations during the Determination of Completeness Review.
3. The Planning Board or its designated agent shall inspect all plantings to ensure that all the plantings have been installed as specified on the approved Tree Plan.

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]
[Signature]

DATE: 5-16-2016

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] 5-17-2016
TOWN CLERK DATE

SUBJECT TO COVENANT DATED _____ RECORDED AT
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DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.

4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
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1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION

TITLE:
**"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519**

PREPARED FOR:
**CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581**

PREPARED BY:
**J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545**

TELE NO.: (508) 843-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

CONDITIONS OF APPROVAL

SHEET NO.: SHEET 2 OF 18 PROJECT NO.: C-353



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CONTOUR - HIGH
---	EXISTING CONTOUR - LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	EXISTING TREE LINE
---	ZONE LINE

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

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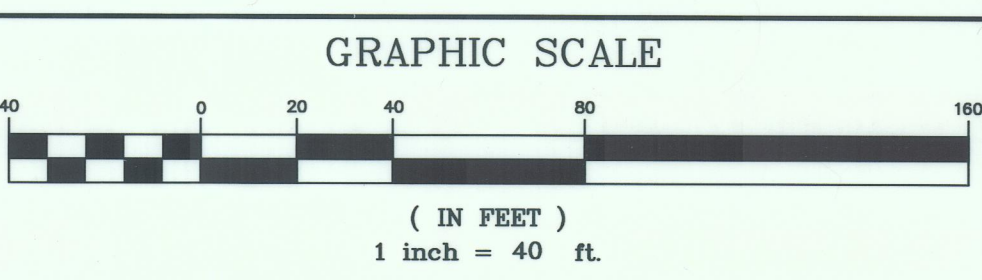
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787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

EXISTING CONDITIONS PLAN 1/2

SHEET NO.: SHEET 3 OF 18 PROJECT NO.: G-353

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES MAY NOT BE SHOWN HEREON CONTACT DIG SAFE (1-888-344-7233) AND LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING CONTOUR - HIGH
- EXISTING CONTOUR - LOW
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EDGE VEGETATED WETLANDS
- WETLAND BUFFER
- EXISTING EDGE PAVEMENT
- EXISTING TREE LINE
- ZONE LINE

TEST HOLE DATA

TH 1
ELEV. 340.0

- 0-8" A SL
- 8-20" B SL
- 20-120" C LS

VERIGATED MOTTLES @60"
GRAVELLY BELOW MOTTLES

TH 2
ELEV. 343.0

- 0-10" A SL
- 10-24" B SL
- 24-90" C LS

TH 3
ELEV. 347.5

- 0-10" A SL
- 10-26" B SL
- 26-90" C LS

NO MOTTLES

TH 4
ELEV. 341.5

- 0-8" A SL
- 8-32" B SL
- 32-108" C LS

VERIGATED MOTTLES @44"

GENERAL NOTES:

- REFERENCE TOWN OF GRAFTON ASSESSORS MAP 97 PARCEL 22A AND MAP 98 PARCEL 2.
- EXISTING CONDITIONS TOPOGRAPHY PREPARED BY GUERRIERE & HALNON INC. 28 POND STREET SUITE 206, FRANKLIN, MA 02038
- WETLANDS DELINEATED BY ROBERT MURPHY IN AUGUST 2013 AND FIELD LOCATED BY ATLAS LAND SURVEYING INC. IN SEPTEMBER 2013.
- PERIMETER PROPERTY LINE INFORMATION CONFIRMED BY ATLAS LAND SURVEYING INC.
- DATUM IS NAVD 88 AND NAD 83.
- EXISTING SOIL SURVEY DATA IS REFERENCED FROM "SOIL SURVEY OF WORCESTER COUNTY, SOUTHERN PART" PRODUCED BY NATURAL RESOURCE CONSERVATION SERVICE.
- SITE IS NOT LOCATED IN A FLOOD ZONE AS SHOWN ON FIRM MAP PANEL 250306 0829E FOR THE TOWN OF GRAFTON MASSACHUSETTS, WORCESTER COUNTY PANEL 829 OF 1075, DATED JULY 4, 2011.

NO MOTTLING
SOME VERIGATED MOTTLING @40"
NO SIGNS OF GROUNDWATER

TH 6
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 8
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 10
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 12
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 14
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 16
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 18
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 20
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 22
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 24
ELEV. 335.8

- 0-6" A SL
- 6-20" B SL
- 20-120" C LS

NO WEEP, WATER OR REFUSAL

TH 26
ELEV. 335.8

NO WEEP, WATER OR REFUSAL

TH 28
ELEV. 335.8

NO WEEP, WATER OR REFUSAL

TH 30
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NO WEEP, WATER OR REFUSAL

TH 32
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NO WEEP, WATER OR REFUSAL

TH 226
ELEV. 335.8

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



DATE

RESERVED FOR REGISTRY OF DEEDS USE ONLY

NOTES

OWNERS DEEDS RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 43189, PAGE 162 BOOK 53114, PAGE 322

PLAN REFERENCE WORCESTER DISTRICT REGISTRY OF DEEDS PLAN BOOK 447, PLAN 10, PLAN BOOK 684, PLAN 31 PLAN BOOK 697, PLAN 55, PLAN BOOK 745, PLAN 115 PLAN BOOK 755, PLAN 104, PLAN BOOK 766, PLAN 72 LAND COURT PLAN #28768

ASSESSORS MAP 97, PARCEL 22A & PORTION OF ASSESSORS MAP 98, PARCEL 22

ZONING DISTRICT: R40

GRANITE MONUMENTS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS, AT ALL POINTS OF CHANGE IN DIRECTION OR CURVATURE OF STREETS AND AT ALL ANGLE POINTS OF ALL EASEMENTS.

GRANITE MONUMENTS (TO BE INSTALLED)

CERTIFICATE OF NO APPEAL

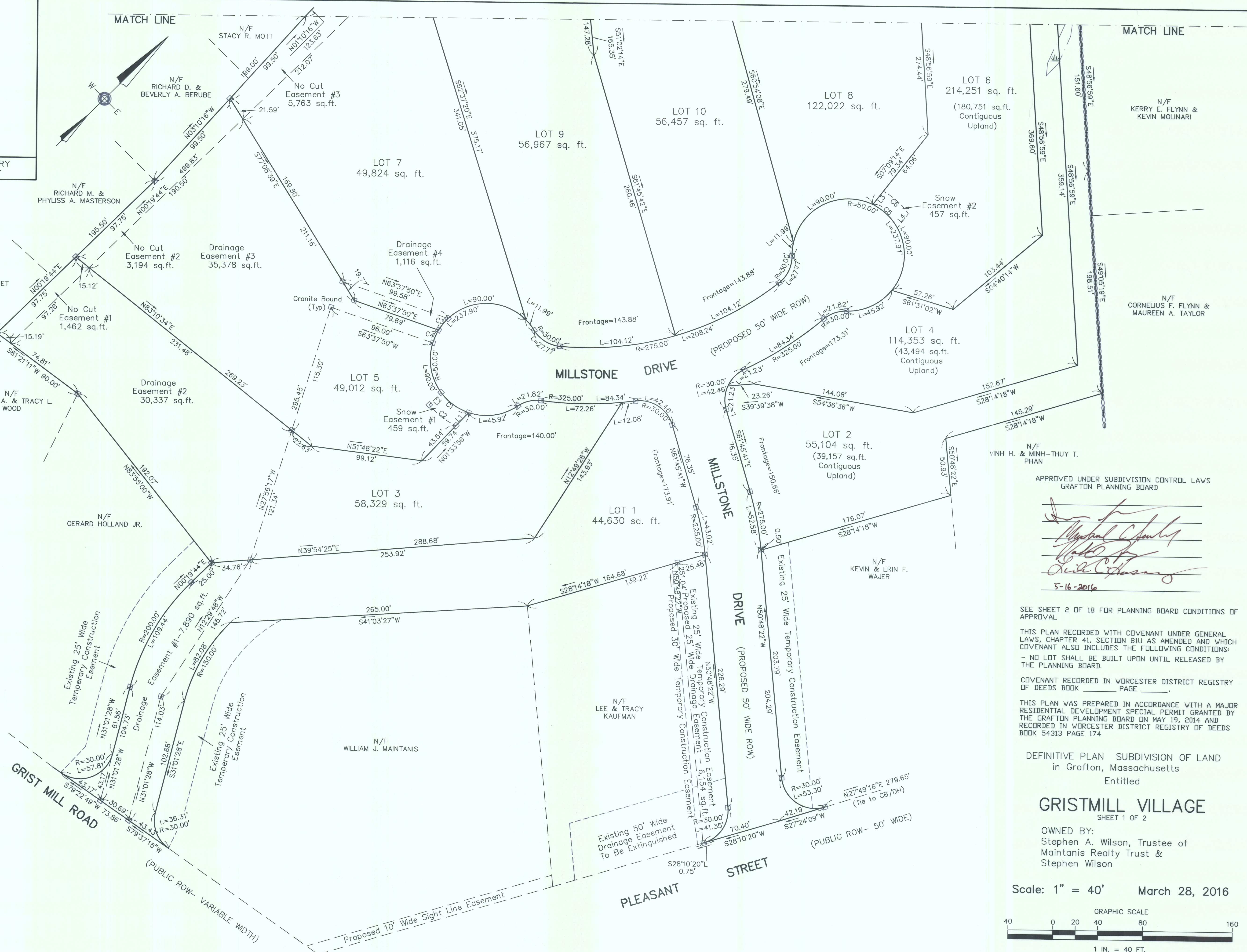
DECISION OF THE GRAFTON PLANNING BOARD APPROVING THIS PLAN RECORDED IN OFFICE OF TOWN CLERK 12-1, 2015

NO NOTICE OF APPEAL THEREFROM RECEIVED BY TOWN CLERK DURING THE 20 DAYS FOLLOWING.

Town Clerk: Dana M. Lincard, Date: 5-27-2016

LINE	BEARING	DISTANCE
L1	N01°33'56"W	16.20'
L2	S01°33'56"E	15.17'
L3	N07°09'14"W	15.28'
L4	S07°09'14"E	15.93'

CURVE	RADIUS	LENGTH
C1	50.00	30.77'
C2	65.00	30.44'
C3	50.00	13.35'
C4	50.00	12.59'
C5	50.00	30.59'
C6	65.00	30.34'



SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL

THIS PLAN RECORDED WITH COVENANT UNDER GENERAL LAWS, CHAPTER 41, SECTION 81U AS AMENDED AND WHICH COVENANT ALSO INCLUDES THE FOLLOWING CONDITIONS:

- NO LOT SHALL BE BUILT UPON UNTIL RELEASED BY THE PLANNING BOARD.

COVENANT RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK PAGE

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174

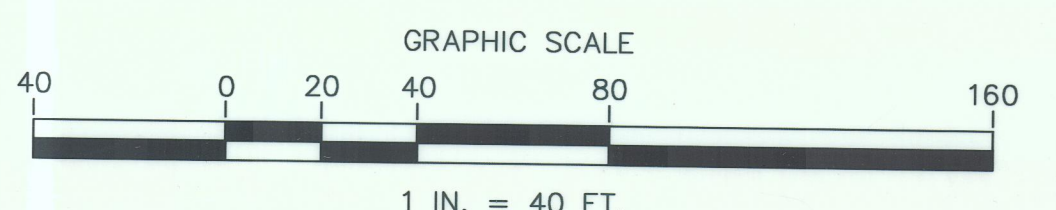
DEFINITIVE PLAN SUBDIVISION OF LAND in Grafton, Massachusetts Entitled

GRISTMILL VILLAGE

SHEET 1 OF 2

OWNED BY: Stephen A. Wilson, Trustee of Maintanis Realty Trust & Stephen Wilson

Scale: 1" = 40' March 28, 2016



Atlas Land Surveying Inc.
8 Moore Lane
Northborough, Massachusetts

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

Todd P. Chapin 3/28/16
DATE



RESERVED FOR REGISTRY OF DEEDS USE ONLY

SUBDIVISION WAIVERS GRANTED:

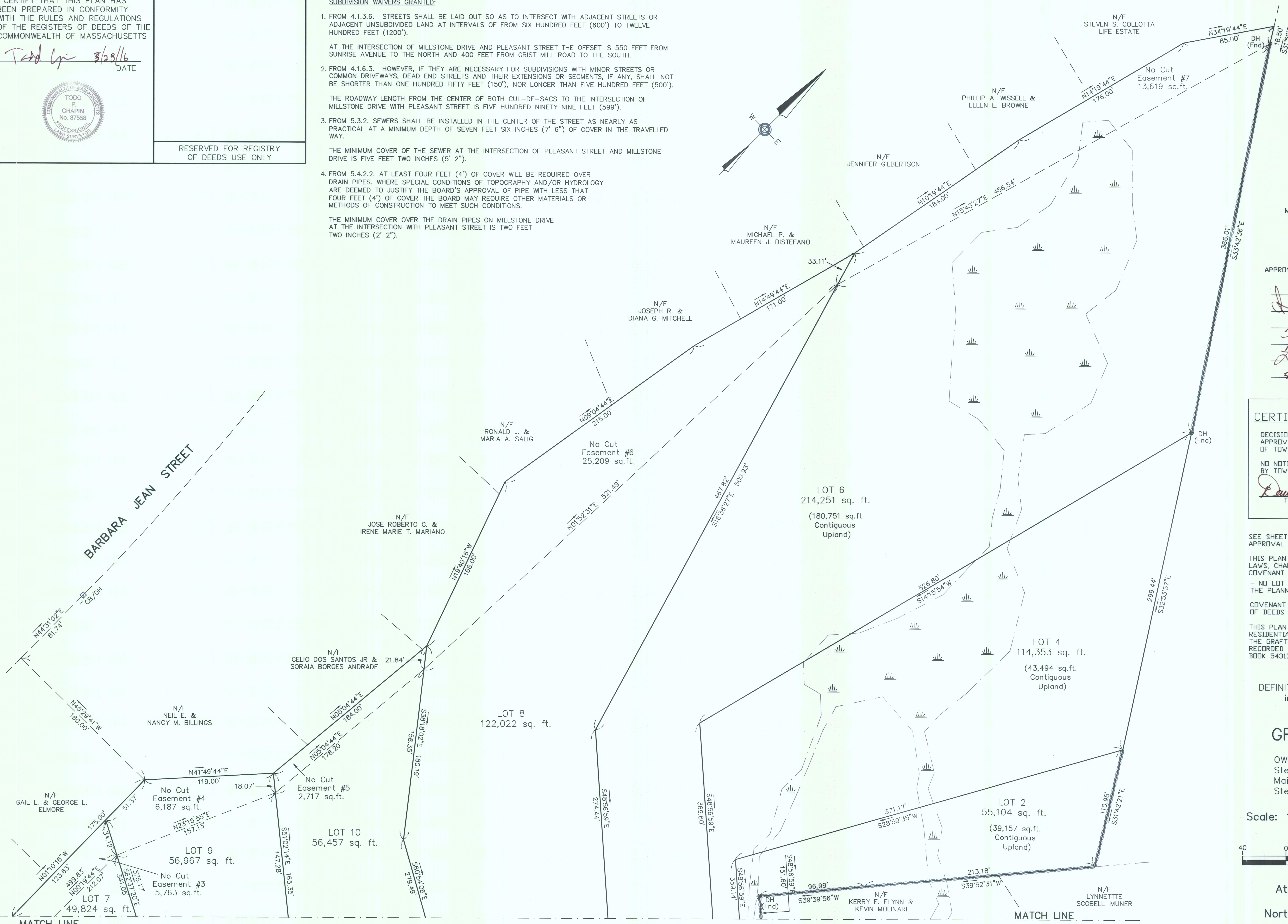
1. FROM 4.1.3.6. STREETS SHALL BE LAID OUT SO AS TO INTERSECT WITH ADJACENT STREETS OR ADJACENT UNSUBDIVIDED LAND AT INTERVALS OF FROM SIX HUNDRED FEET (600') TO TWELVE HUNDRED FEET (1200').

AT THE INTERSECTION OF MILLSTONE DRIVE AND PLEASANT STREET THE OFFSET IS 550 FEET FROM SUNRISE AVENUE TO THE NORTH AND 400 FEET FROM GRIST MILL ROAD TO THE SOUTH.
2. FROM 4.1.6.3. HOWEVER, IF THEY ARE NECESSARY FOR SUBDIVISIONS WITH MINOR STREETS OR COMMON DRIVEWAYS, DEAD END STREETS AND THEIR EXTENSIONS OR SEGMENTS, IF ANY, SHALL NOT BE SHORTER THAN ONE HUNDRED FIFTY FEET (150'), NOR LONGER THAN FIVE HUNDRED FEET (500').

THE ROADWAY LENGTH FROM THE CENTER OF BOTH CUL-DE-SACS TO THE INTERSECTION OF MILLSTONE DRIVE WITH PLEASANT STREET IS FIVE HUNDRED NINETY NINE FEET (599').
3. FROM 5.3.2. SEWERS SHALL BE INSTALLED IN THE CENTER OF THE STREET AS NEARLY AS PRACTICAL AT A MINIMUM DEPTH OF SEVEN FEET SIX INCHES (7' 6") OF COVER IN THE TRAVELLED WAY.

THE MINIMUM COVER OF THE SEWER AT THE INTERSECTION OF PLEASANT STREET AND MILLSTONE DRIVE IS FIVE FEET TWO INCHES (5' 2").
4. FROM 5.4.2.2. AT LEAST FOUR FEET (4') OF COVER WILL BE REQUIRED OVER DRAIN PIPES. WHERE SPECIAL CONDITIONS OF TOPOGRAPHY AND/OR HYDROLOGY ARE DEEMED TO JUSTIFY THE BOARD'S APPROVAL OF PIPE WITH LESS THAN FOUR FEET (4') OF COVER THE BOARD MAY REQUIRE OTHER MATERIALS OR METHODS OF CONSTRUCTION TO MEET SUCH CONDITIONS.

THE MINIMUM COVER OVER THE DRAIN PIPES ON MILLSTONE DRIVE AT THE INTERSECTION WITH PLEASANT STREET IS TWO FEET TWO INCHES (2' 2").



APPROVED UNDER SUBDIVISION CONTROL LAWS
GRAFTON PLANNING BOARD

Michael C. Chelly
Paul C. Hanger
5-16-2016

CERTIFICATE OF NO APPEAL

DECISION OF THE GRAFTON PLANNING BOARD
APPROVING THIS PLAN RECORDED IN OFFICE
OF TOWN CLERK 12-1, 2015

NO NOTICE OF APPEAL THEREFROM RECEIVED
BY TOWN CLERK DURING THE 20 DAYS FOLLOWING.

Dana M. Givens 5-17-2016
TOWN CLERK DATE

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL

THIS PLAN RECORDED WITH COVENANT UNDER GENERAL LAWS, CHAPTER 41, SECTION 81U AS AMENDED AND WHICH COVENANT ALSO INCLUDES THE FOLLOWING CONDITIONS:

- NO LOT SHALL BE BUILT UPON UNTIL RELEASED BY THE PLANNING BOARD.

COVENANT RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK PAGE

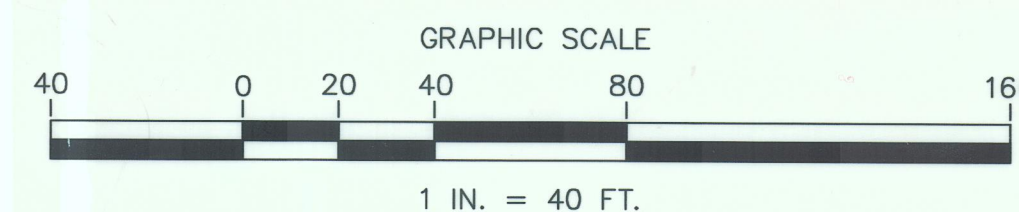
THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174

DEFINITIVE PLAN SUBDIVISION OF LAND
in Grafton, Massachusetts
Entitled

GRISTMILL VILLAGE
SHEET 2 OF 2

OWNED BY:
Stephen A. Wilson, Trustee of
Maintanis Realty Trust &
Stephen Wilson

Scale: 1" = 40' March 28, 2016



Atlas Land Surveying Inc.
8 Moore Lane
Northborough, Massachusetts



LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	ZONE LINE
	PROPOSED GRANITE BOUND

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5-16-2016

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] 5-17-2016
TOWN CLERK DATE

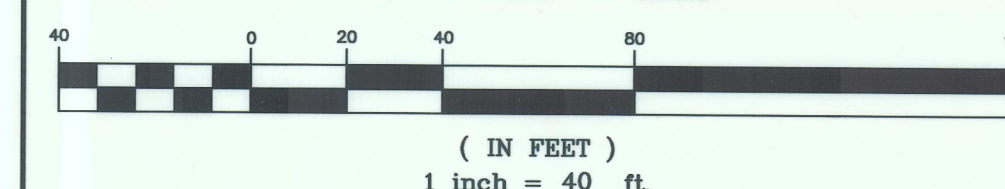
SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVEYANCE DATED _____ RECORDED AT
WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HERewith.

GRAPHIC SCALE



REV. NO.	DATE	REVISION
4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE: "GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

LAYOUT AND MATERIALS PLAN 1/2

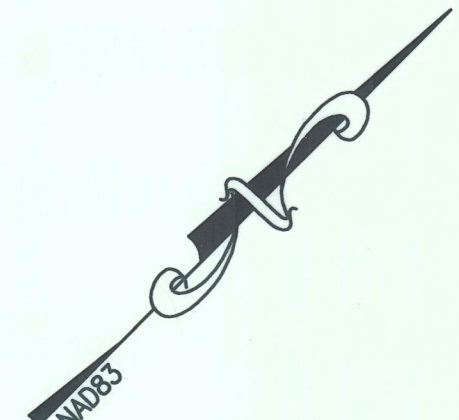
SHEET NO.: SHEET 7 OF 18 PROJECT NO.: G-353

ZONING REQUIREMENTS:

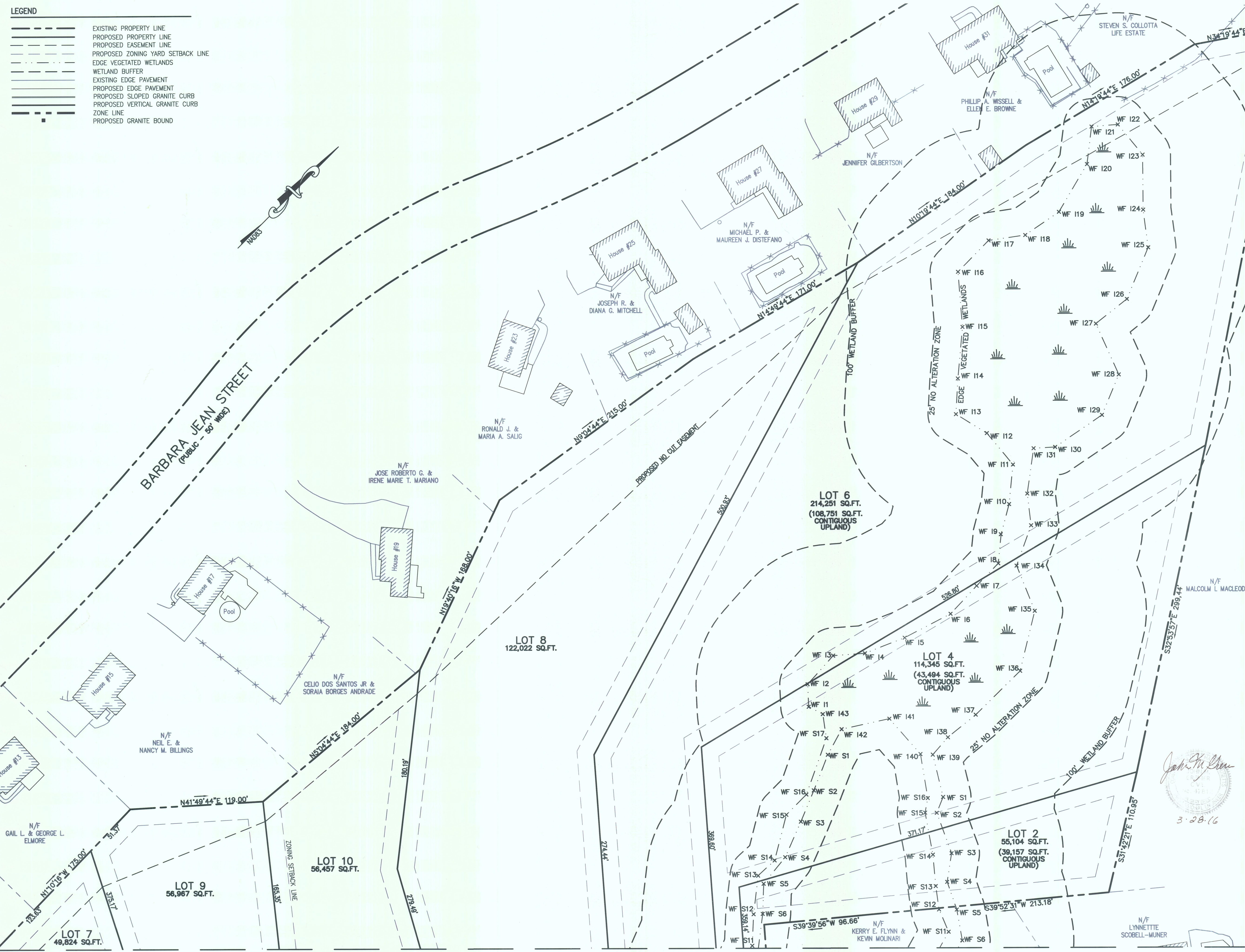
MINIMUM LOT SIZE:	40,000 SQ.FT.
FRONTAGE:	140' (90' ON CUL-DE-SAC)
LOT WIDTH:	140'
FRONT YARD SETBACK:	30'
SIDE YARD SETBACK:	15'
REAR YARD SETBACK:	15'

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED EASEMENT LINE
- PROPOSED ZONING YARD SETBACK LINE
- EDGE VEGETATED WETLANDS
- WETLAND BUFFER
- EXISTING EDGE PAVEMENT
- PROPOSED EDGE PAVEMENT
- PROPOSED SLOPED GRANITE CURB
- PROPOSED VERTICAL GRANITE CURB
- ZONE LINE
- PROPOSED GRANITE BOUND



BARBARA JEAN STREET
(Public - 50' Wide)



MATCH LINE SEE SHEET 1 OF 2

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
Date: 5/16/16

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

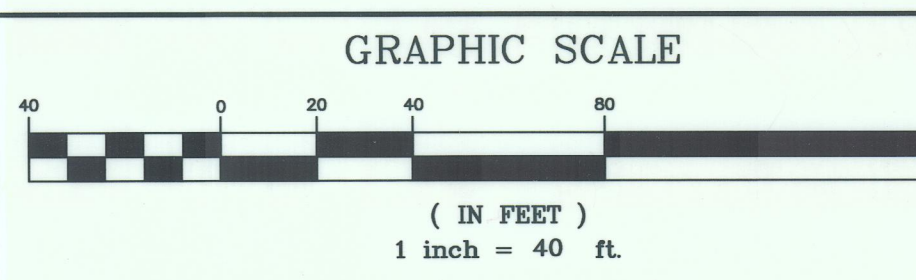
[Signature] TOWN CLERK DATE 5-17-2016

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVEYANCE DATED _____ RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.



REV. NO.	DATE	REVISION
4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE: "GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

LAYOUT AND MATERIALS PLAN 2/2

SHEET NO.: SHEET 8 OF 18 PROJECT NO.: G-353



LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED ELECTRIC, TELEPHONE, CABLE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	EXISTING TREE LINE
	PROPOSED TREE LINE
	ZONE LINE
	EROSION BARRIER

GRAFTON PLANNING BOARD
APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5/16/16

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

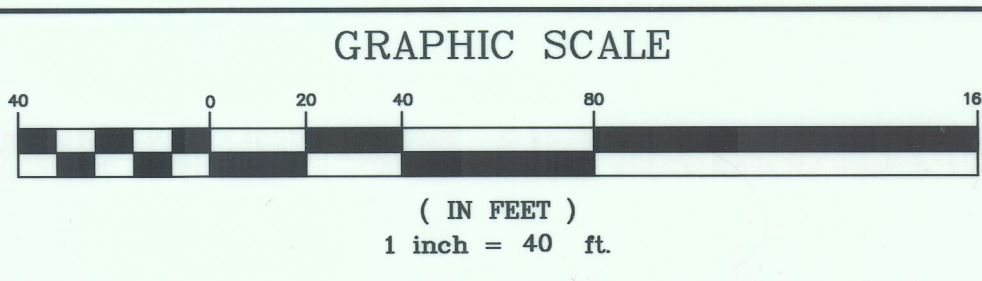
[Signature] TOWN CLERK DATE 5-17-2016

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO COVENANT DATED _____ RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HERewith.



REV. NO.	DATE	REVISION
4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE: "GRISTMILL VILLAGE" DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

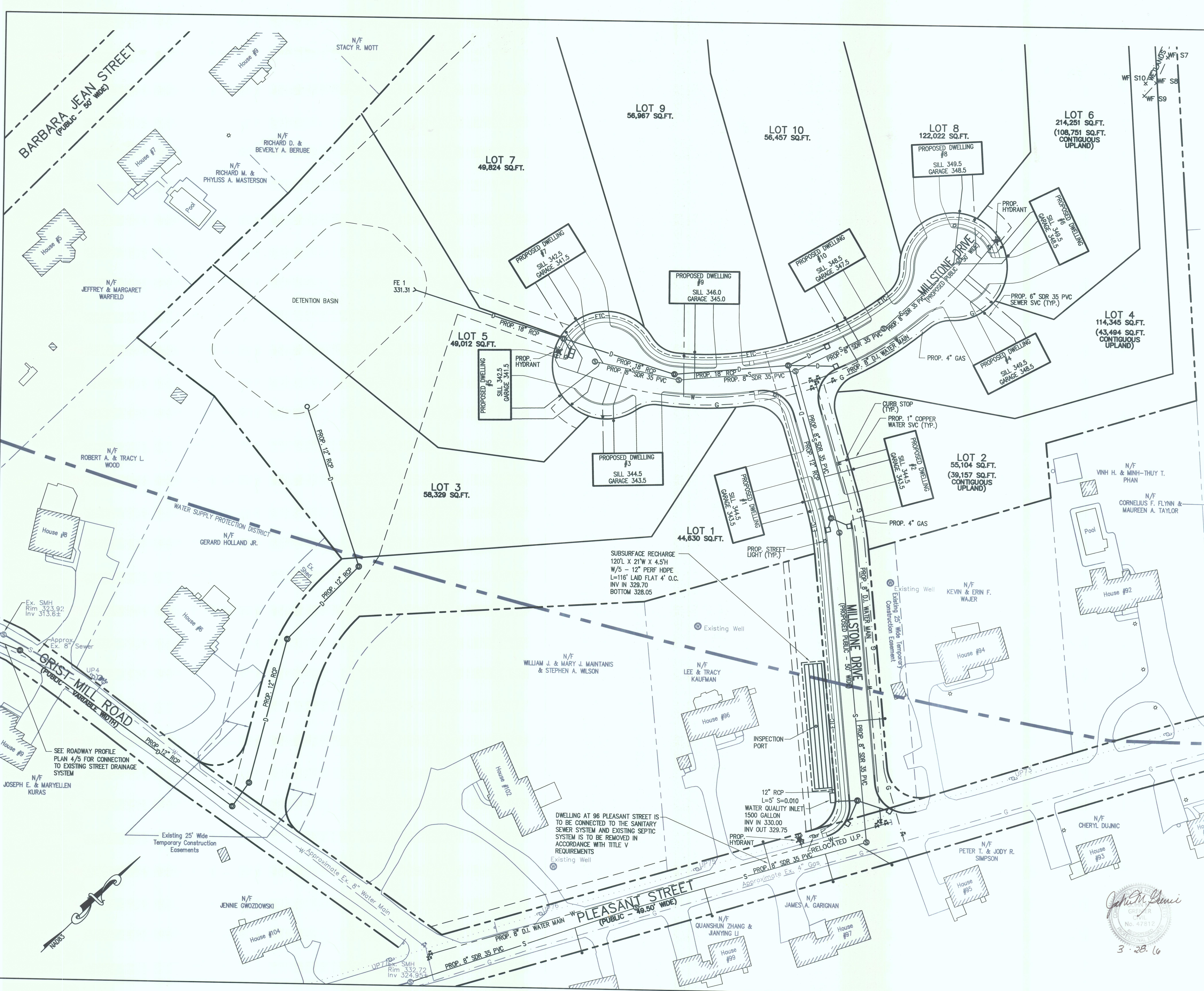
SCALE: 1" = 40' DATE: MARCH 13, 2015

GRADING AND DRAINAGE PLAN

SHEET NO.: SHEET 9 OF 18 PROJECT NO.: G-353

TREE PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Pear	2" cal.	B&B	33
	<i>Pinus Strobus</i>	White Pine	6'-7'	B&B	5



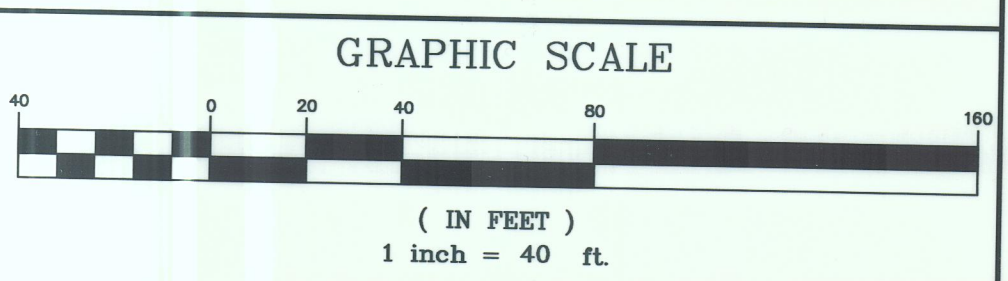
- LEGEND**
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED ZONING YARD SETBACK LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED ELECTRIC, TELEPHONE, CABLE
 - PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING GAS LINE
 - PROPOSED GAS LINE
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EDGE VEGETATED WETLANDS
 - WETLAND BUFFER
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VERTICAL GRANITE CURB
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - ZONE LINE
 - EROSION BARRIER

GRAFTON PLANNING BOARD
APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

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SUBJECT TO CONVEYANCE DATED _____ RECORDED AT _____
WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____
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TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

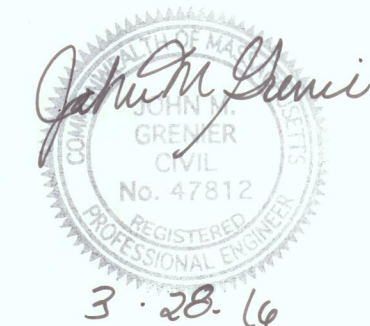
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

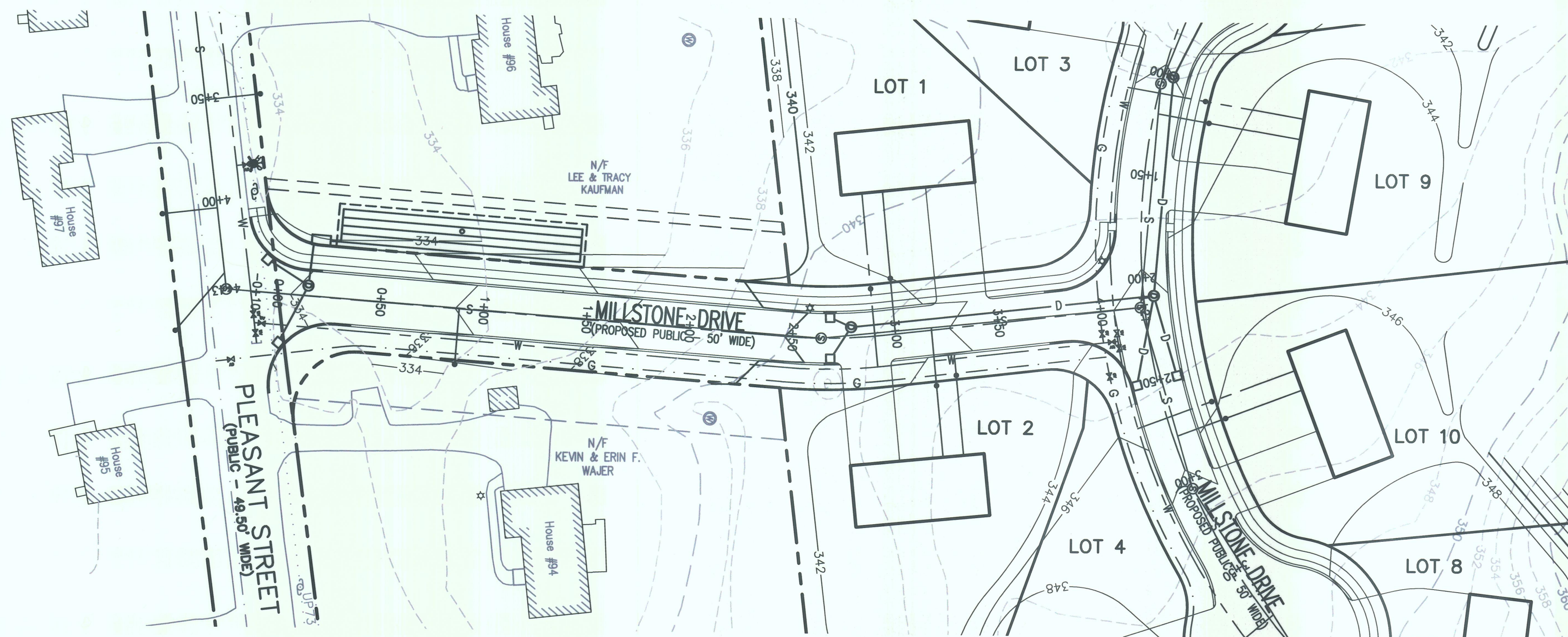
PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' **DATE:** MARCH 13, 2015

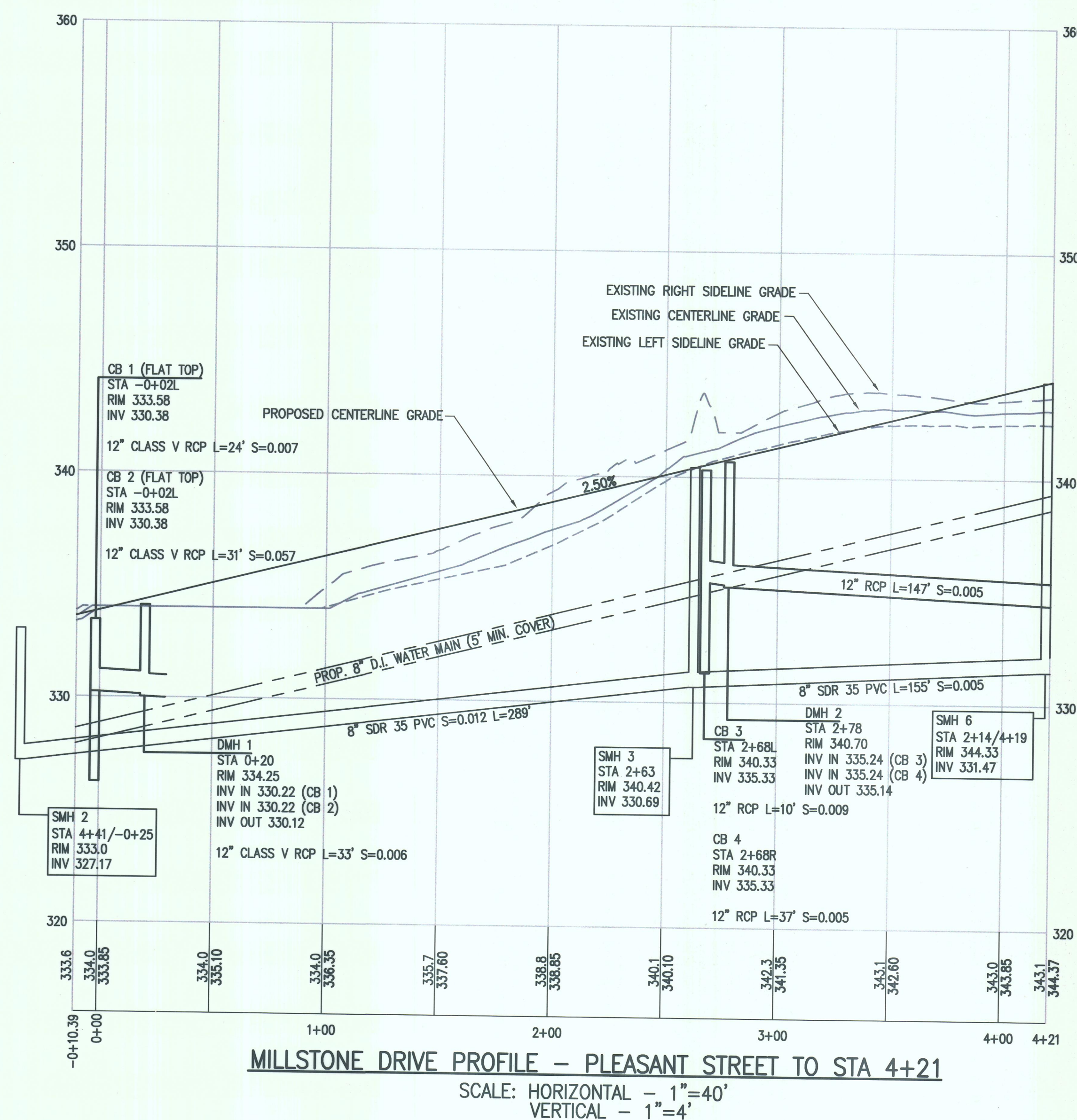
UTILITY PLAN

SHEET NO.: SHEET 10 OF 18 **PROJECT NO.:** G-353





MILLSTONE DRIVE PLAN – PLEASANT STREET TO STA 4+21
SCALE: 1"=40'



MILLSTONE DRIVE PROFILE – PLEASANT STREET TO STA 4+21
SCALE: HORIZONTAL – 1"=40'
VERTICAL – 1"=4'

LEGEND	
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR – HIGH
---	EXISTING CONTOUR – LOW
---	PROPOSED CONTOUR – HIGH
---	PROPOSED CONTOUR – LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	PROPOSED ELECTRIC, TELEPHONE, CABLE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5/16/16

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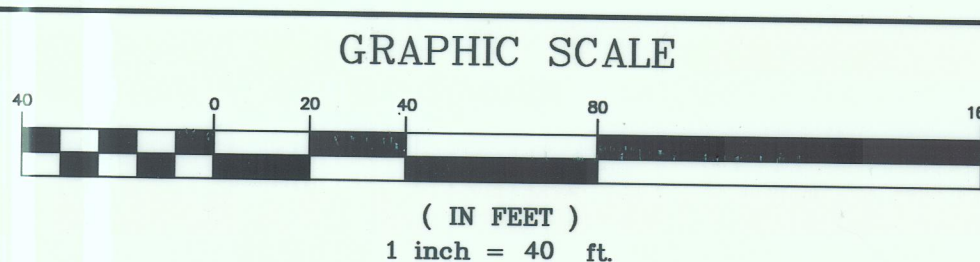
[Signature] 5-17-2016
TOWN CLERK DATE

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVEYANCE DATED _____ RECORDED AT
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DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.



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TITLE: "GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
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P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

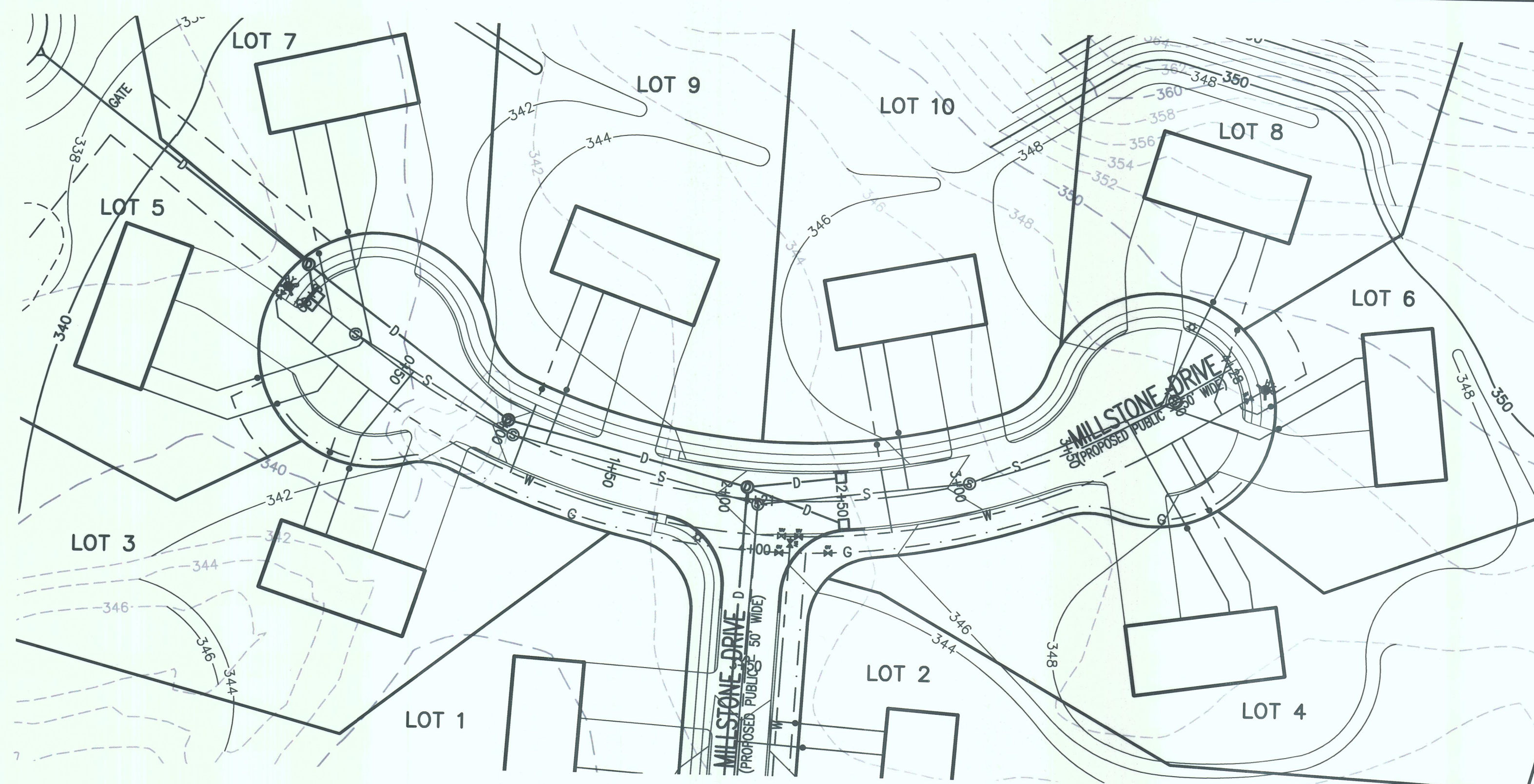
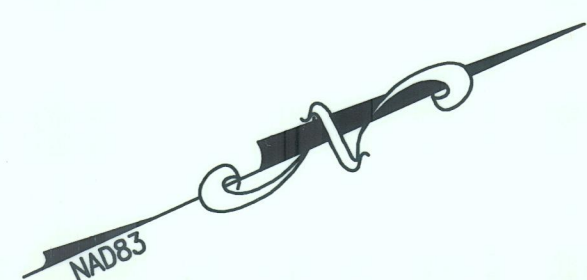
PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TEL NO.: (508) 845-2500 FAX NO.: (508) 842-0800

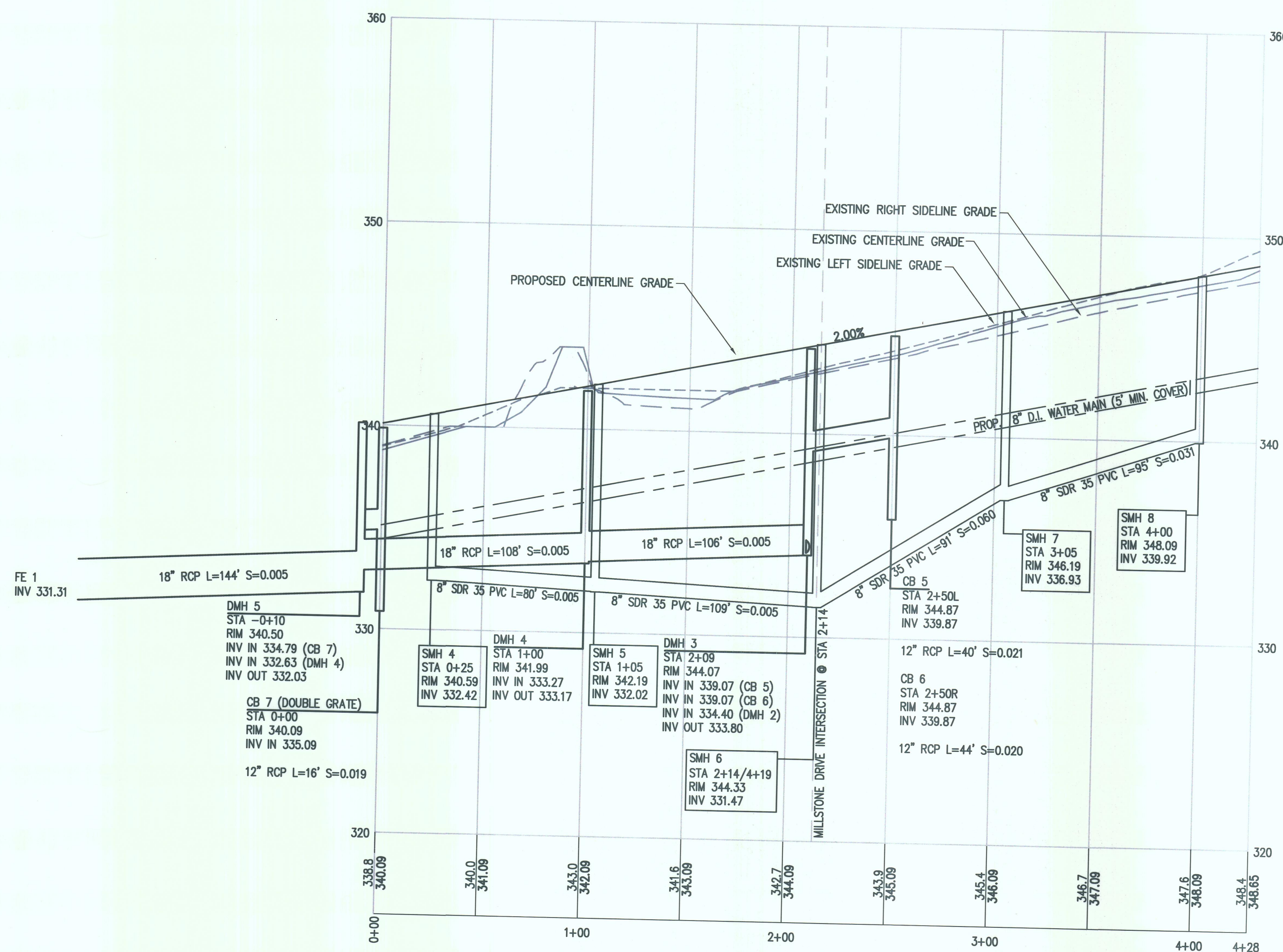
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 1/5

SHEET NO.: SHEET 11 OF 18 PROJECT NO.: G-353



MILLSTONE DRIVE PLAN - NORTH CUL-DE-SAC TO SOUTH CUL-DE-SAC
SCALE: 1"=40'



MILLSTONE DRIVE PROFILE - NORTH CUL-DE-SAC TO SOUTH CUL-DE-SAC
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED ELECTRIC, TELEPHONE, CABLE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	EXISTING TREE LINE
	PROPOSED TREE LINE
	ZONE LINE
	EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5/16/16

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TOWN CLERK DATE

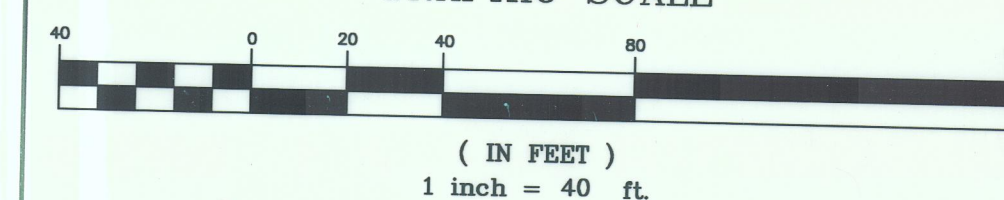
SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

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DEEDS OF EASEMENTS TO BE RECORDED HERewith.

GRAPHIC SCALE



[Signature]
3-28-16

REV. NO.	DATE	REVISION
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TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

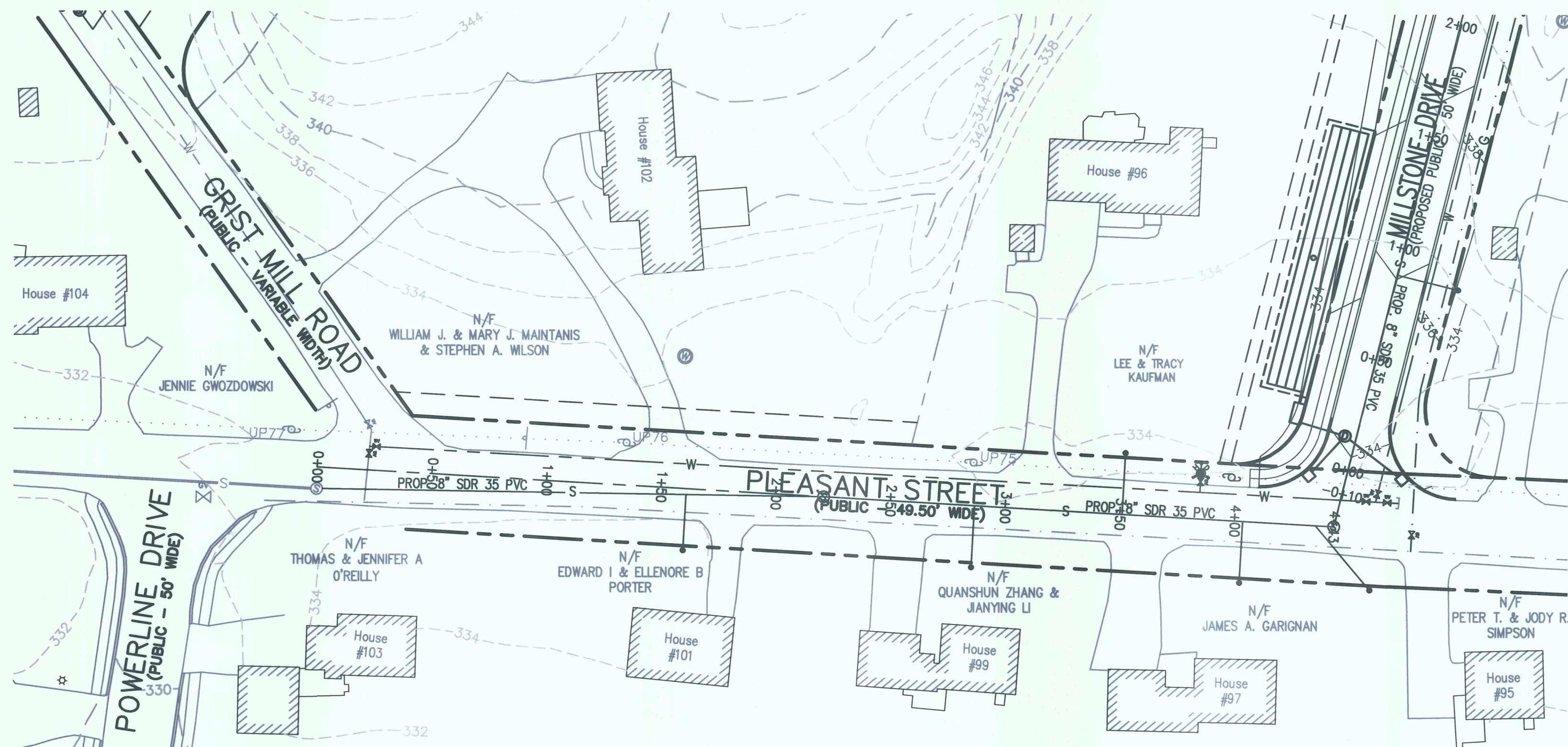
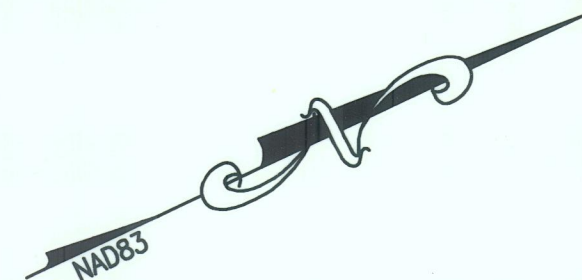
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
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TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

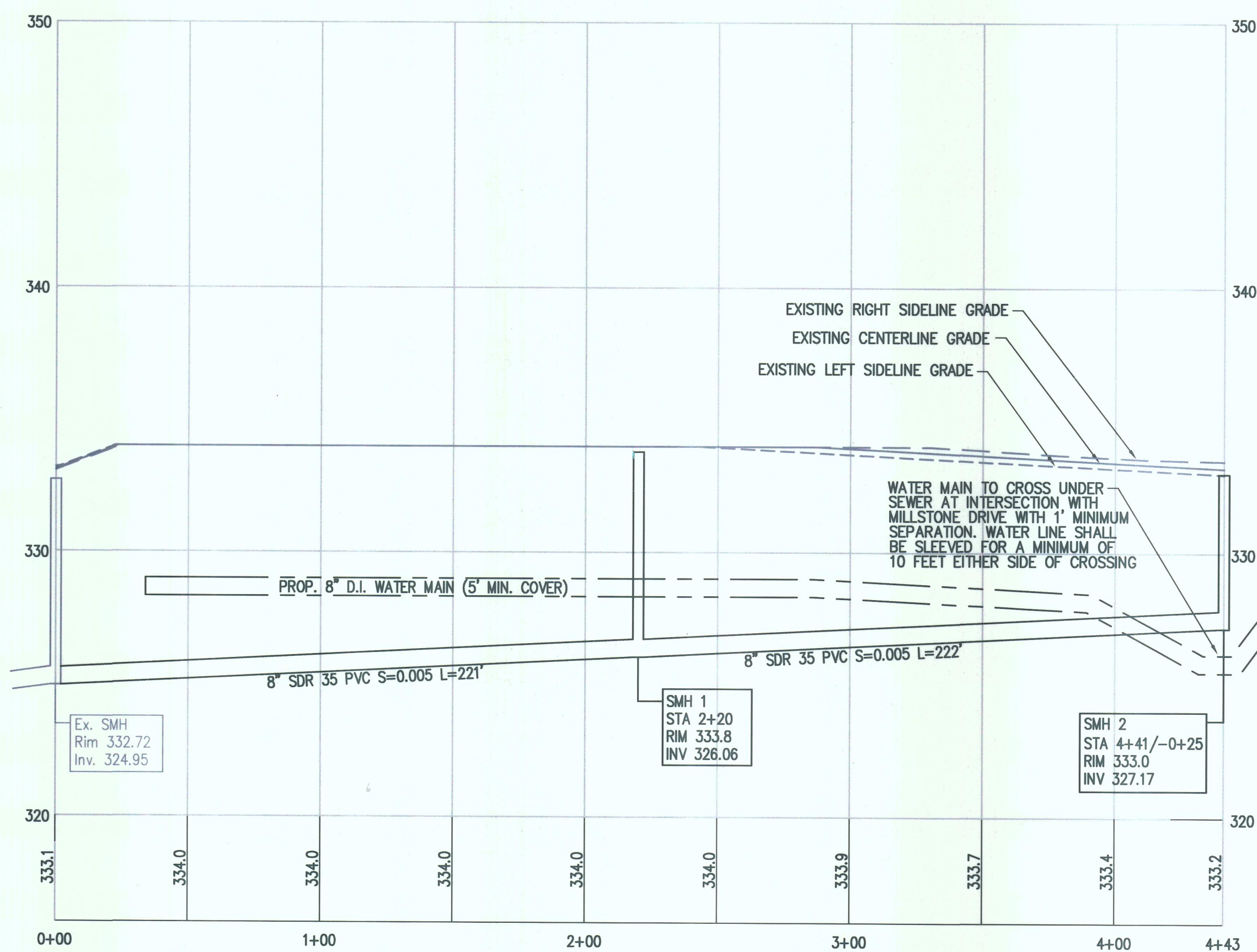
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 2/5

SHEET NO.: SHEET 12 OF 18 PROJECT NO.: G-353



PLEASANT STREET PLAN
SCALE: 1"=40'



PLEASANT STREET PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR - HIGH
---	EXISTING CONTOUR - LOW
---	PROPOSED CONTOUR - HIGH
---	PROPOSED CONTOUR - LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	PROPOSED ELECTRIC, TELEPHONE, CABLE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5/16/16

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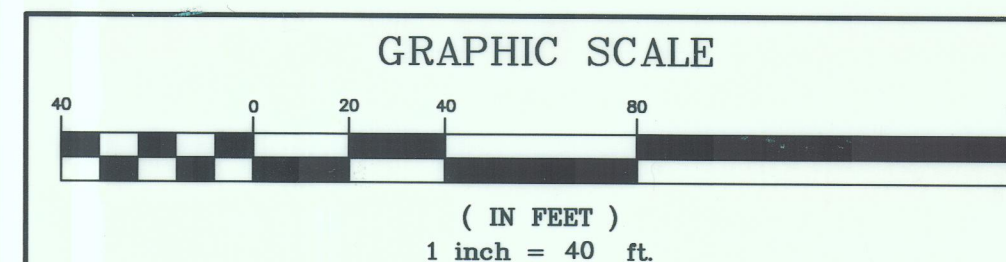
[Signature] 5-17-2016
TOWN CLERK DATE

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SUBJECT TO COVENANT DATED _____ RECORDED AT
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TITLE: "GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
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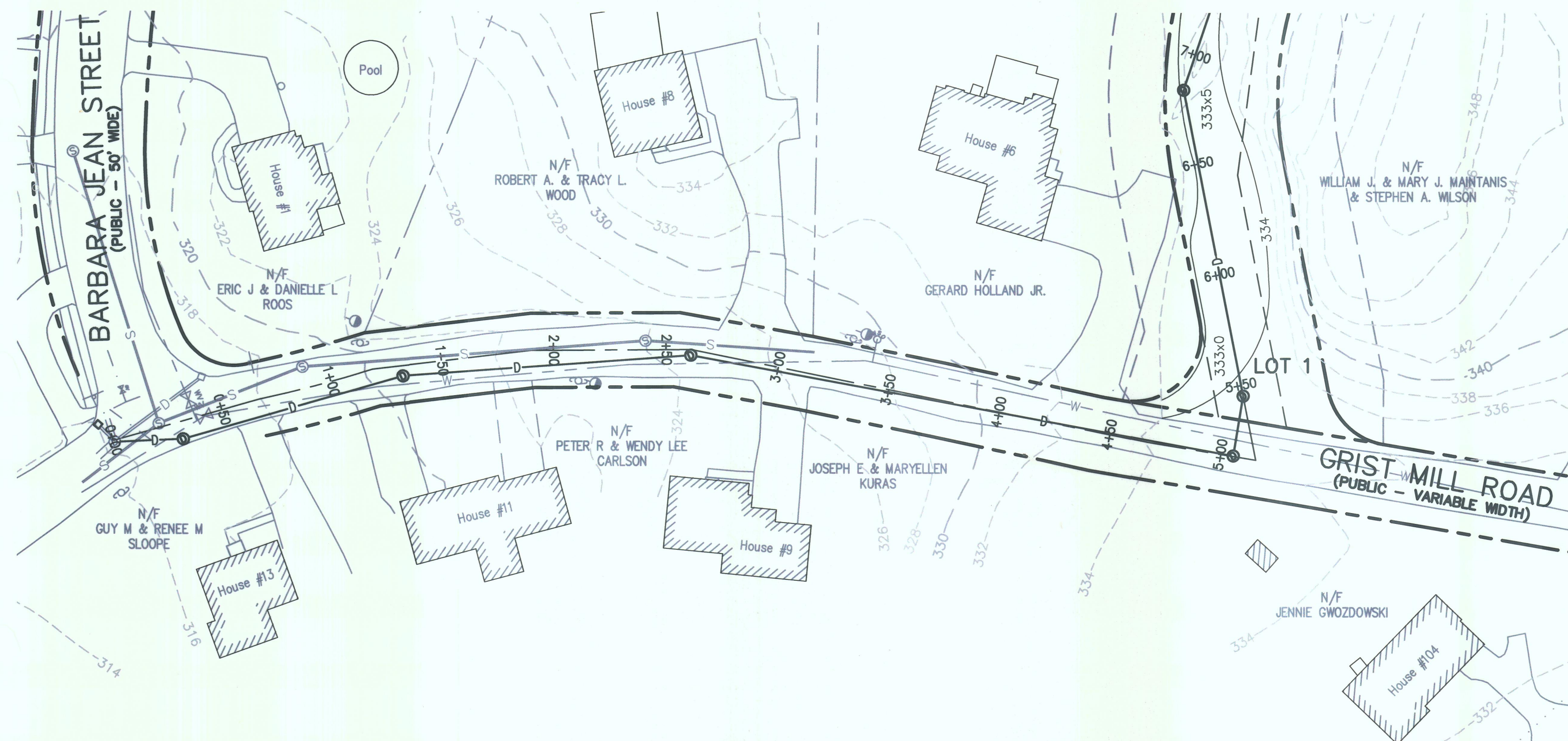
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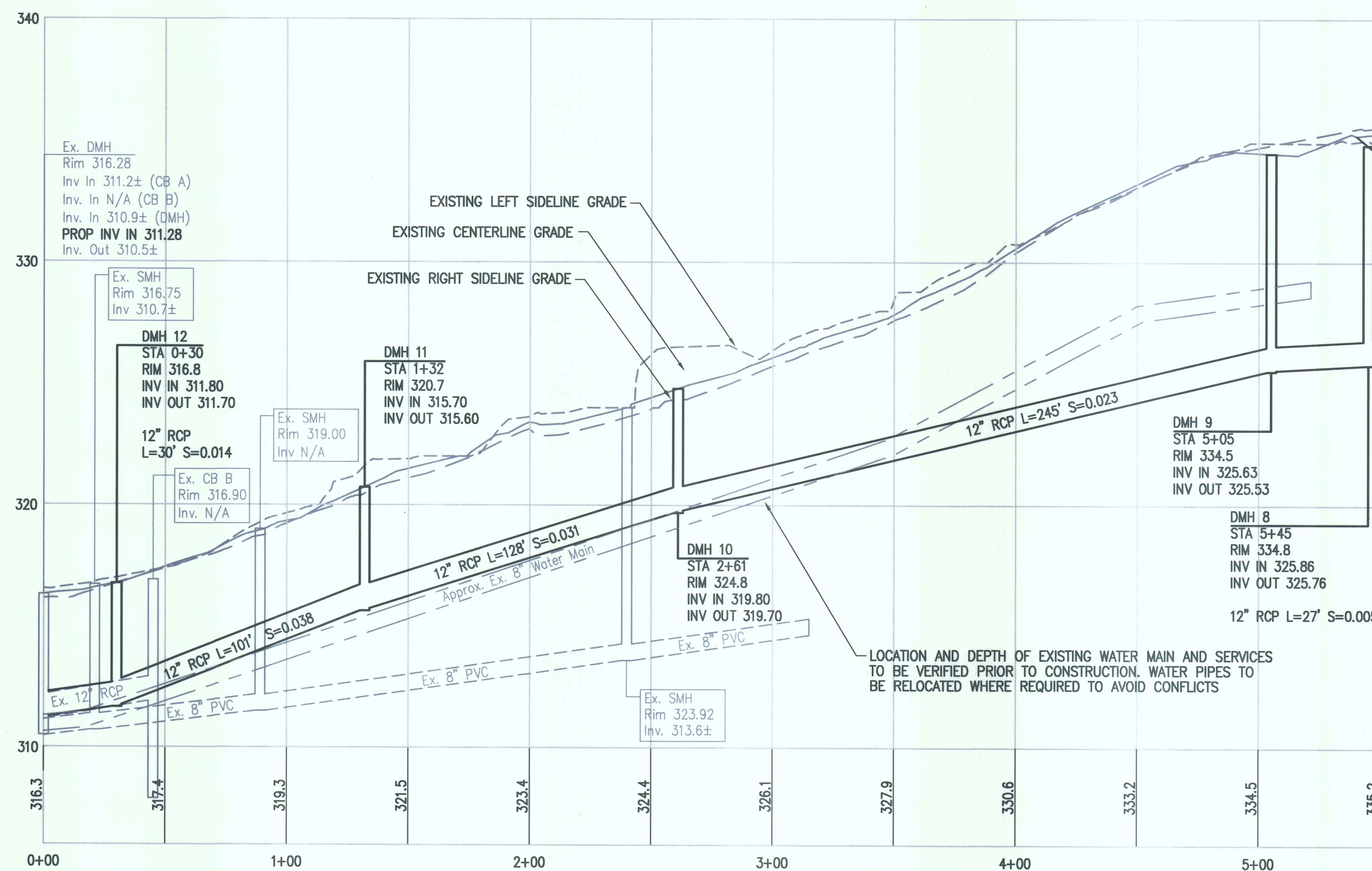
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 3/5

SHEET NO.: SHEET 13 OF 18 PROJECT NO.: G-353



GRIST MILL ROAD PLAN
SCALE: 1"=40'



GRIST MILL ROAD PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR - HIGH
---	EXISTING CONTOUR - LOW
---	PROPOSED CONTOUR - HIGH
---	PROPOSED CONTOUR - LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	PROPOSED ELECTRIC, TELEPHONE, CABLE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
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[Signatures]

DATE: 5/16/16

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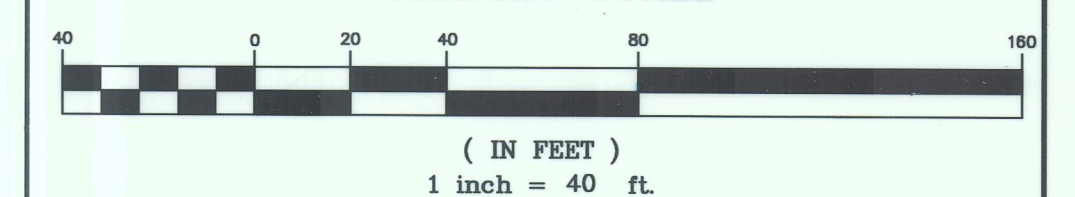
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GRAPHIC SCALE



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DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519**

PREPARED FOR:
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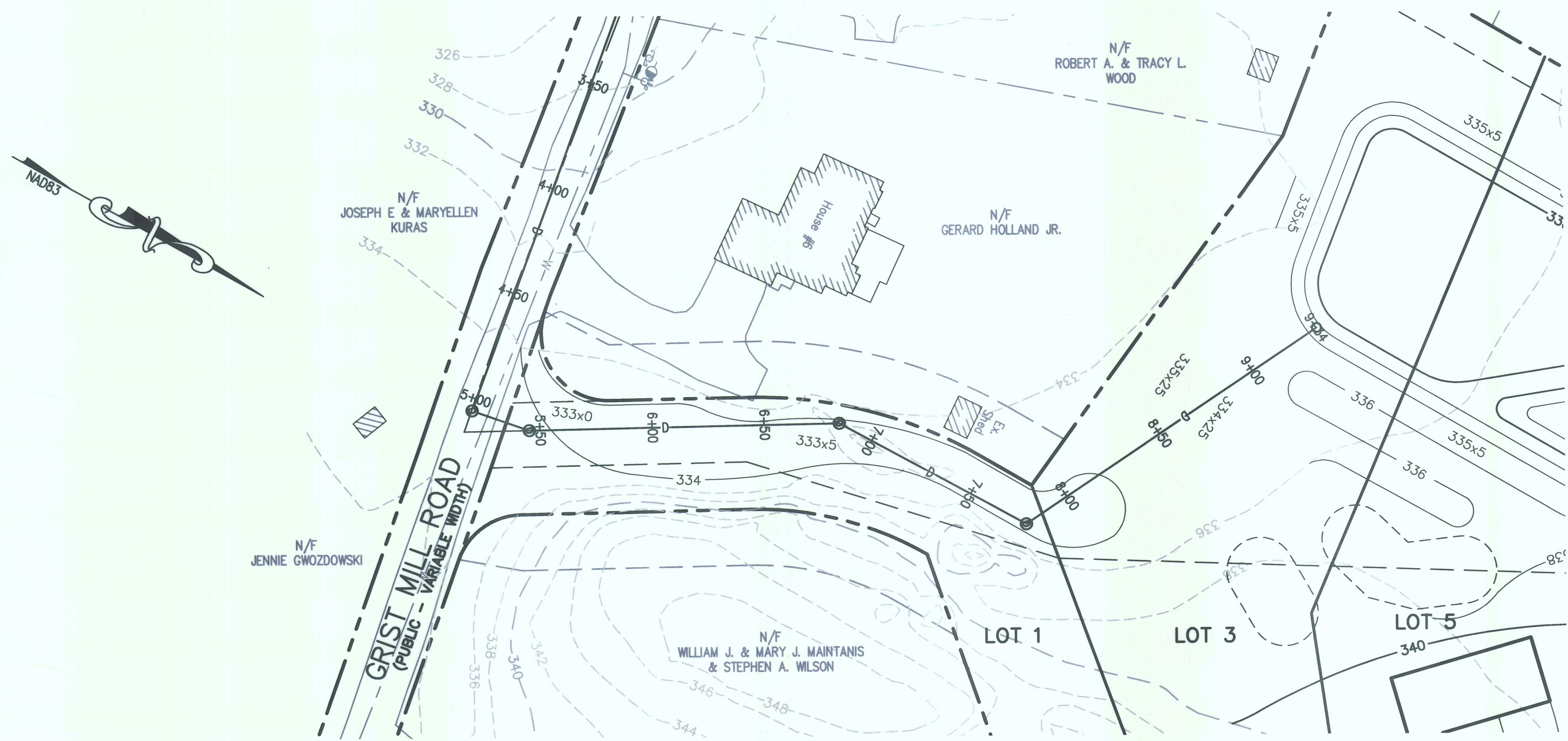
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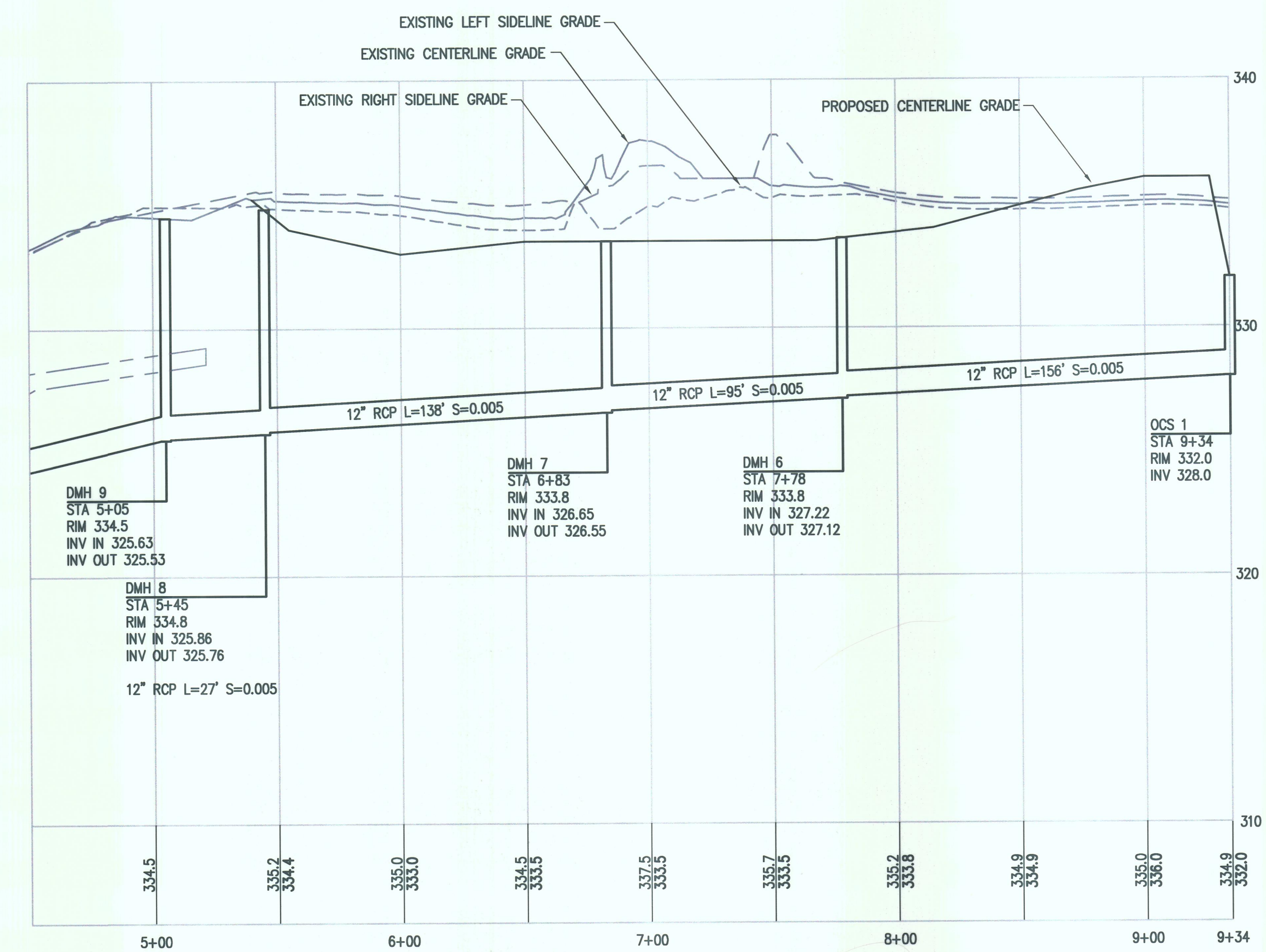
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 4/5

SHEET NO.: SHEET 14 OF 18 PROJECT NO.: G-353



CROSS COUNTRY PLAN
SCALE: 1"=40'



CROSS COUNTRY PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR - HIGH
---	EXISTING CONTOUR - LOW
---	PROPOSED CONTOUR - HIGH
---	PROPOSED CONTOUR - LOW
---	EXISTING UTILITY POLE
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---	PROPOSED ELECTRIC, TELEPHONE, CABLE
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---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
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---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
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---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

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[Signatures]

DATE: 5/16/16

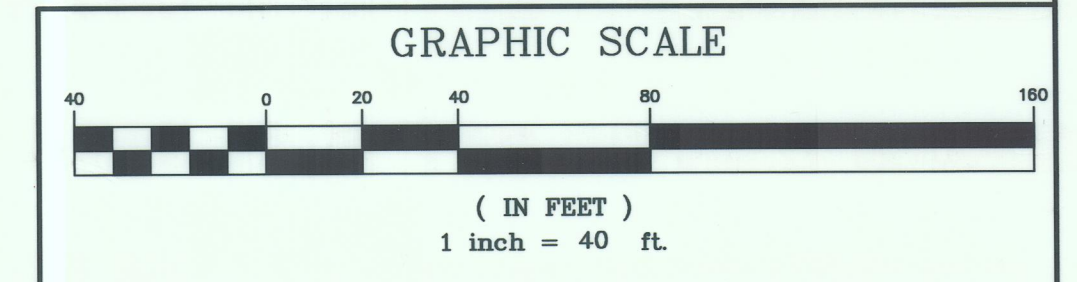
I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

[Signature] TOWN CLERK DATE: 5-17-2016

SUBJECT TO COVENANT DATED _____ RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313 PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.



REV. NO.	DATE	REVISION
4	3/28/16	CONSERVATION COMMISSION COMMENTS
3	12/16/15	CONDITIONS OF APPROVAL
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800
SCALE: 1" = 40' **DATE:** MARCH 13, 2015

ROADWAY PROFILE PLAN 5/5

SHEET NO.: SHEET 15 OF 18 **PROJECT NO.:** G-353

BASIN SHALL BE CONSTRUCTED PRIOR TO UP-GRADE EXCAVATION ACTIVITIES. RUNOFF FROM DISTURBED UP-GRADE AREAS SHALL BE DIRECTED TO THE BASIN. IN ORDER TO MINIMIZE "BINDING" OF SOILS, BOTTOM OF BASIN SHALL BE INSTALLED ONE FOOT ABOVE PROPOSED GRADES. ONCE UP-GRADE AREAS ARE STABILIZED, ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM BASIN AND BASIN SHALL BE EXCAVATED TO PROPOSED FINISH GRADES.

GENERAL:

1. THIS PLAN IS ALSO INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE TOWN OF GRAFTON AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE TOWN OF GRAFTON ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE TOWN OF GRAFTON SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.

PRE-CONSTRUCTION:

1. A PRE-CONSTRUCTION MEETING CONFERENCE WITH THE TOWN OF GRAFTON ENGINEERING DEPARTMENT AND CONSERVATION COMMISSION SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
2. AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING ROADWAY DRAINAGE STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
3. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA ON A PORTION OF THE SITE TO BE DISTURBED FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
4. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: STRAW BALES, SILT FENCE AND CRUSHED STONE.
5. A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, NOTE #4.
6. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

PRELIMINARY SITE WORK:

1. FILTERED CATCH BASIN INLET AND SILT FENCES SHALL BE PLACED AT THE INLET/OUTLETS OF ADJACENT DRAINAGE SYSTEMS TO PROVIDE FILTRATION OF RUNOFF.
2. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF-SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL STRAW BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
4. IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY ORDERS OF CONDITIONS ISSUED BY THE CONSERVATION COMMISSION AND ANY SPECIAL CONDITIONS ISSUED BY ANY OTHER REGULATORY AGENCY OR THE TOWN OF GRAFTON.
2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
3. THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL. ALL RUNOFF WILL BE DIVERTED TO EITHER TEMPORARY BASINS OR THE DETENTION BASIN AREA WHICH WILL ACT AS A SEDIMENTATION BASIN DURING CONSTRUCTION.
4. EROSION CONTROL SHALL BE PLACED AT THE LIMITS OF WORK AREAS. IF MULTIPLE LOTS ARE BEING CONSTRUCTED SIMULTANEOUSLY THERE IS NO NEED EROSION CONTROL BETWEEN LOTS.
5. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OUTSIDE OF THE 100' WETLANDS BUFFER ZONE.
7. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

BASIN SHALL BE CONSTRUCTED PRIOR TO UP-GRADE EXCAVATION ACTIVITIES. RUNOFF FROM DISTURBED UP-GRADE AREAS SHALL BE DIRECTED TO THE BASIN. IN ORDER TO MINIMIZE "BINDING" OF SOILS, ONCE UP-GRADE AREAS ARE STABILIZED ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BASIN AND BASIN SHALL BE EXCAVATED TO PROPOSED FINISHED GRADES.

GENERAL CONSTRUCTION REQUIREMENTS:

ANY REVEALING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.

NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED. CONCRETE TRUCKS SHALL BE WASHED OUT IN DESIGNATED AREAS. NO CONCRETE WASHOUT SHALL BE ALLOWED TO ENTER STREET DRAINAGE SYSTEM.

NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.

CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING AND/OR WATERING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, A MINIMUM OF ONCE PER WEEK AND/OR IS NEEDED.

THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.

LANDSCAPING:

LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.

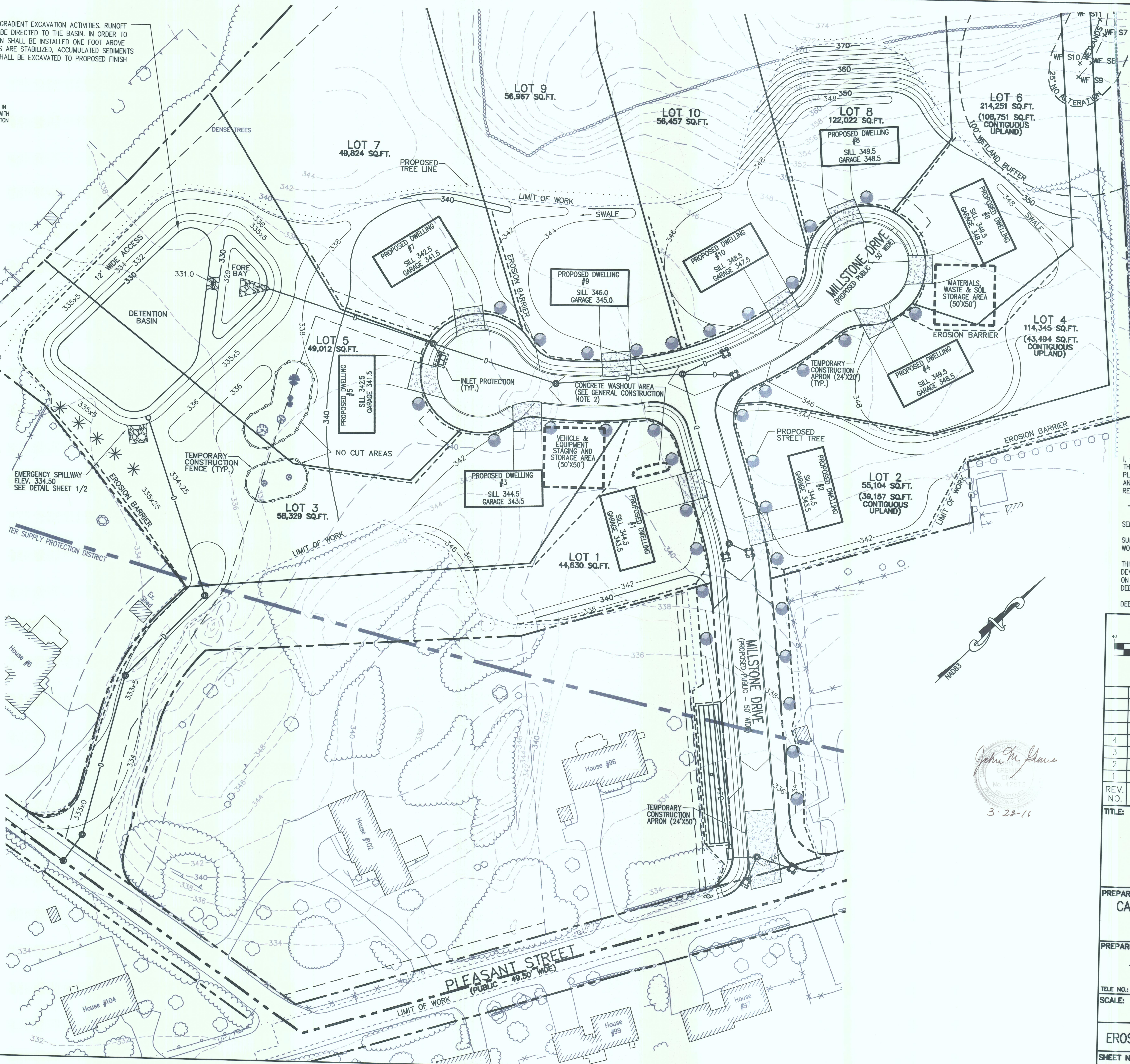
CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAFAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.

IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH STRAW, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.

ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.

SEED APPLICATIONS SHALL BE IN ACCORDANCE WITH THE GRASS AND SLOPE COVER SPECIFICATIONS.

TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.



- LEGEND
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED ZONING YARD SETBACK LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED ELECTRIC, TELEPHONE, CABLE
 - PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING GAS LINE
 - PROPOSED GAS LINE
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EDGE VEGETATED WETLANDS
 - WETLAND BUFFER
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VERTICAL GRANITE CURB
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - ZONE LINE
 - EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE: 5/16/16

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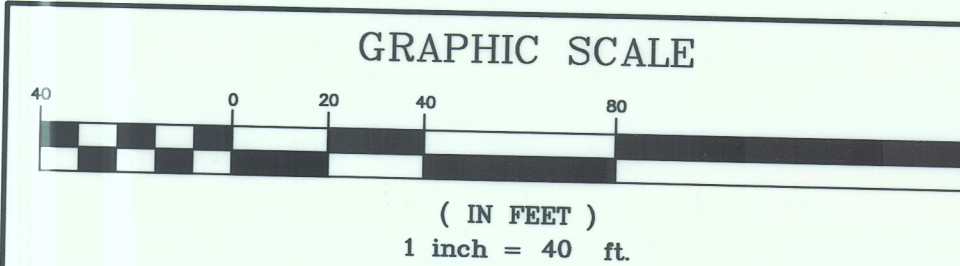
5-17-2016
TOWN CLERK DATE

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVEYANT DATED _____ RECORDED AT
WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

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DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.



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TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

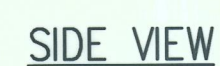
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

EROSION & SEDIMENTATION CONTROL PLAN

SHEET NO.: SHEET 16 OF 18 PROJECT NO.: G-353



NOTES: INTERIOR TANK DIMENSIONS ARE 5'-0" X 10'-0" X 5'-0" HEIGHT
FIRST CHAMBER DIMENSIONS ARE 5'-0" X 3'-0" X 4'-0" HEIGHT



NOTE: COMPACTED FILL SHALL CONFORM TO THE REQUIREMENTS OF MASS DOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SUBSECTION M1.08.0 OF DIVISION III, MATERIALS, CONSISTING OF MATERIAL WITH A PERMEABILITY LESS THAN 10 CM/SEC, COMPACTED TO 93% PROCTOR DENSITY IN 6" LIFTS.



GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE: 5/16/16

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RECEIPT AND RECORDING OF SAID NOTICE.
Danica M. Luoma
TOWN CLERK
5-17-2016
DATE

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO COVENANT DATED _____ RECORDED AT _____

SUBJECT TO CONVENANT DATED _____ RECORDED AT
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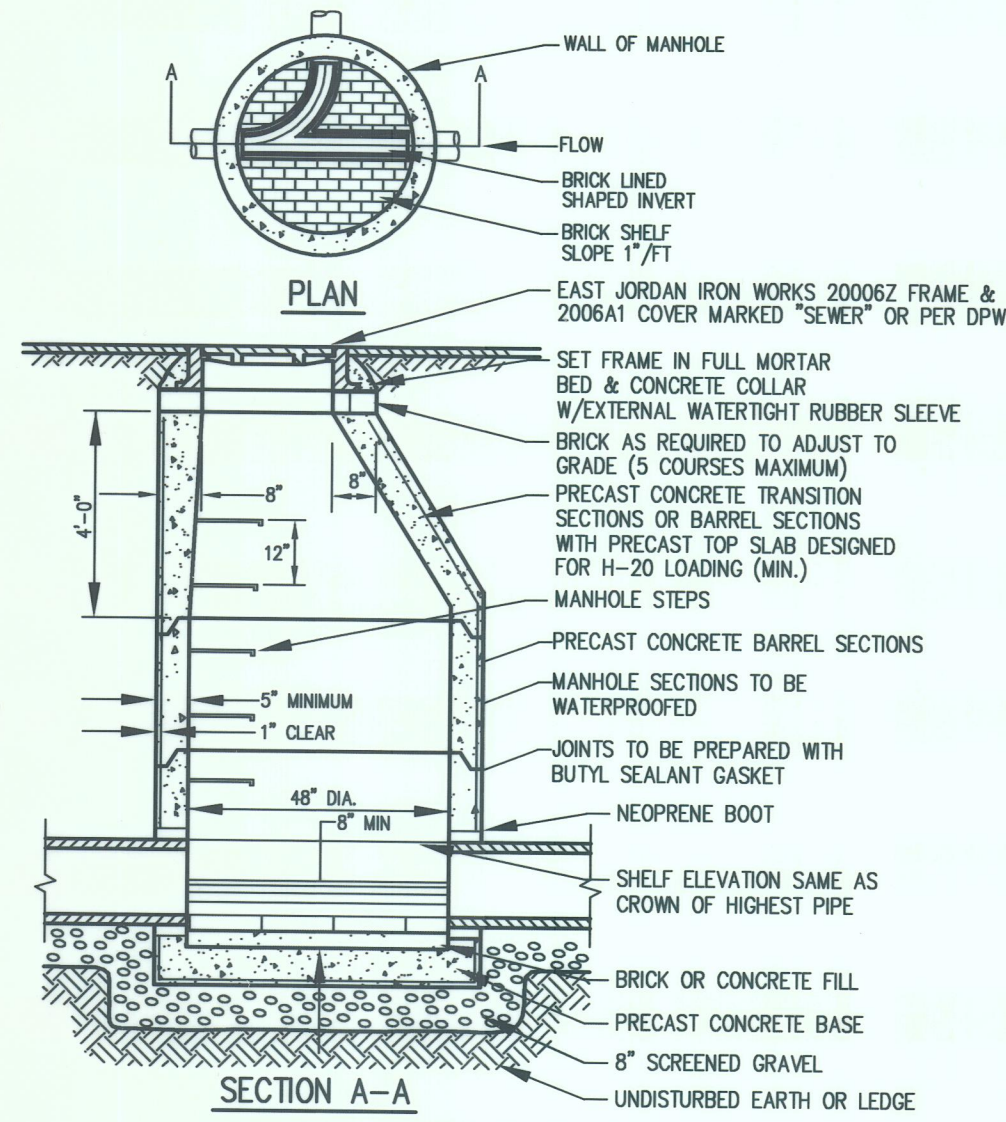
PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: AS SHOWN	DATE: MARCH 13, 2015
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DETAIL PLAN 1/2

SHEET NO.: SHEET 17 OF 18	PROJECT NO.: G-353
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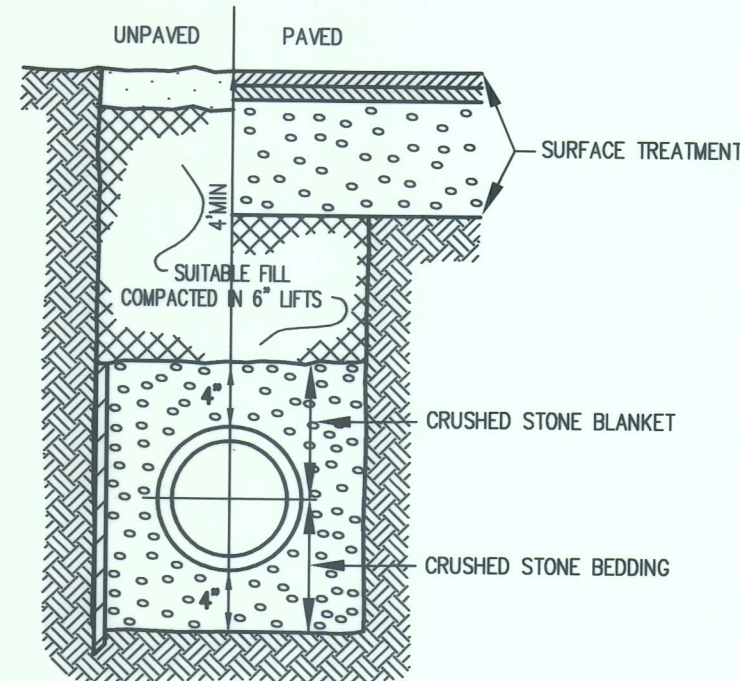
PRECAST SEWER MANHOLE
NOT TO SCALE

NOTES

- EXTERNAL RUBBER BAND SEAL BY SSI OR APPROVED EQUAL SHALL BE PROVIDED AT ALL JOINTS.
- FLEXIBLE MANHOLE SLEEVES SHALL INCLUDE STAINLESS STEEL CLAMPS AND EXPANSION RINGS.
- DOUBLE BUTYL RUBBER FLEXIBLE ROPE SEAL SHALL BE UTILIZED AT EACH HORIZONTAL JOINT.

SEWER EXTENSION TESTING REQUIREMENTS

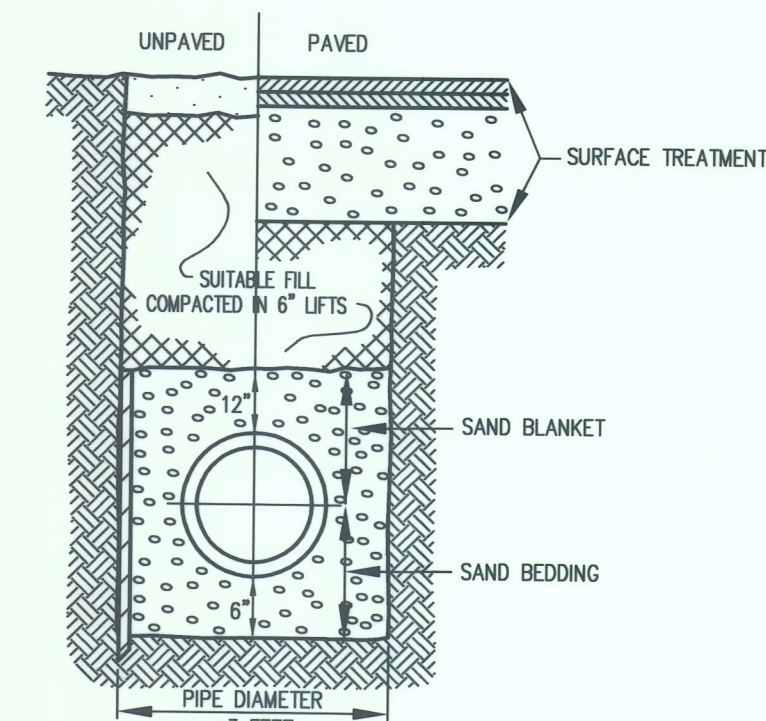
- AIR TEST ALL SEWER MAINS 4.0 PSI FOR 7 MINUTES ALLOWABLE DROP OF 1.0 PSI IN 7 MINUTES
- VACUUM TEST FOR ALL SEWER MANHOLES 10"hg OF VACUUM, TIME OF TEST VARIES BY DEPTH OF MANHOLE STRUCTURE SEE BELOW FOR TIMES:
UP TO 10 FEET 1 MINUTE
UP TO 15 FEET 1 MINUTE 15 SECONDS
UP TO 20 FEET 1 MINUTE 30 SECONDS
ALLOWABLE DROP OF 1.0"hg IN THE TIME OF TEST
- MANDREL OF APPROPRIATE SIZE MUST BE PULLED THROUGH ALL PIPE EXCEPT DUCTILE IRON
- AT THE DISCRETION OF THE SUPERINTENDENT ALL EXTENSIONS OF THREE (3) OR MORE CONNECTIONS MUST COMPLETE A CCTV INSPECTION BEFORE FINAL ACCEPTANCE WILL BE GRANTED. AN ELECTRONIC COPY OF THE CCTV INSPECTION MUST BE PROVIDED TO THE SEWER DEPT
- ALL TESTING MUST BE WITNESSED BY SEWER DEPT STAFF



SEWER SHALL MAINTAIN A 6" MIN SEPARATION TO BEDROCK IN ALL DIRECTIONS

TYPICAL SEWER TRENCH SECTION
NOT TO SCALE

NOTE: DUCTILE IRON PIPE REQUIRED IN ALL FILLED AREAS

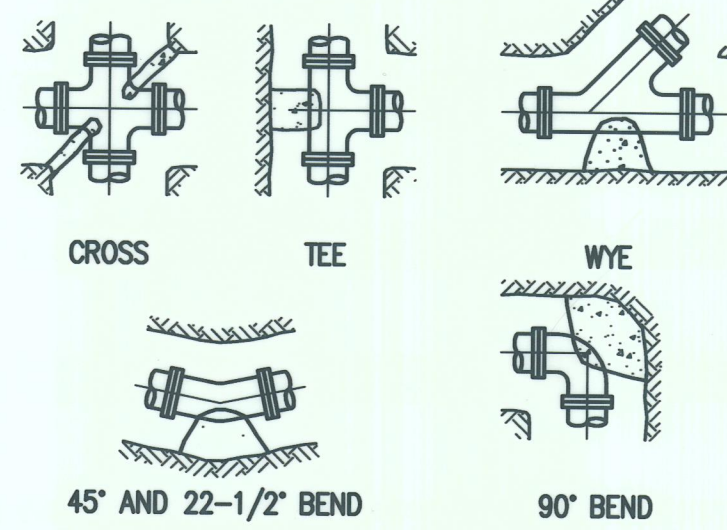


TYPICAL WATER LINE TRENCH SECTION
NOT TO SCALE

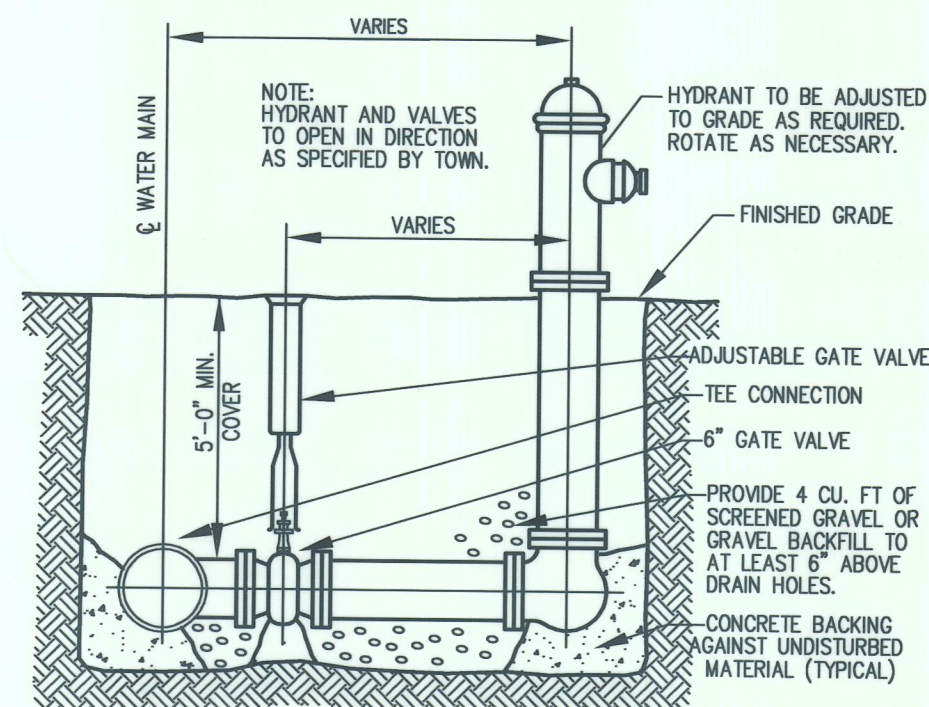
TABLE OF BEARING AREA IN SQ. FT. AGAINST UNDISTURBED SOIL			
SIZE OF MAIN	90 DEGREE BEND	TEE & PLUG	45 DEGREE BEND
6"	10	8	6
8"	16	12	10
10"	26	19	15
12"	36	26	20

NOTE: FOR FITTINGS W/ LESS THAN 45° DEFLECTION USE BEARING AREA FOR 45° BEND.

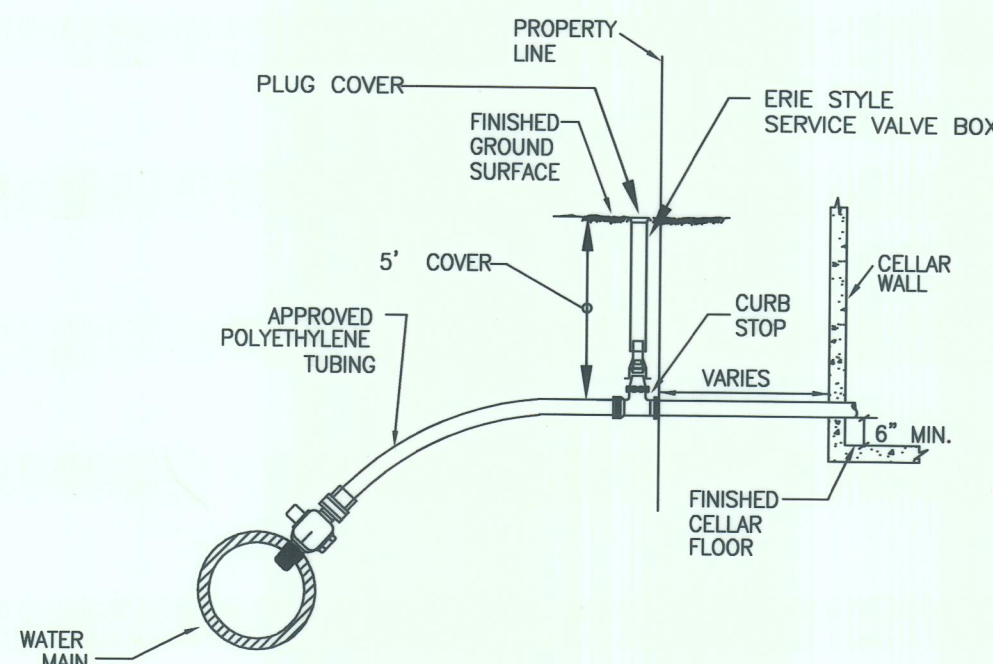
NOTE: ALL CONCRETE SHALL BE 2500 P.S.I.



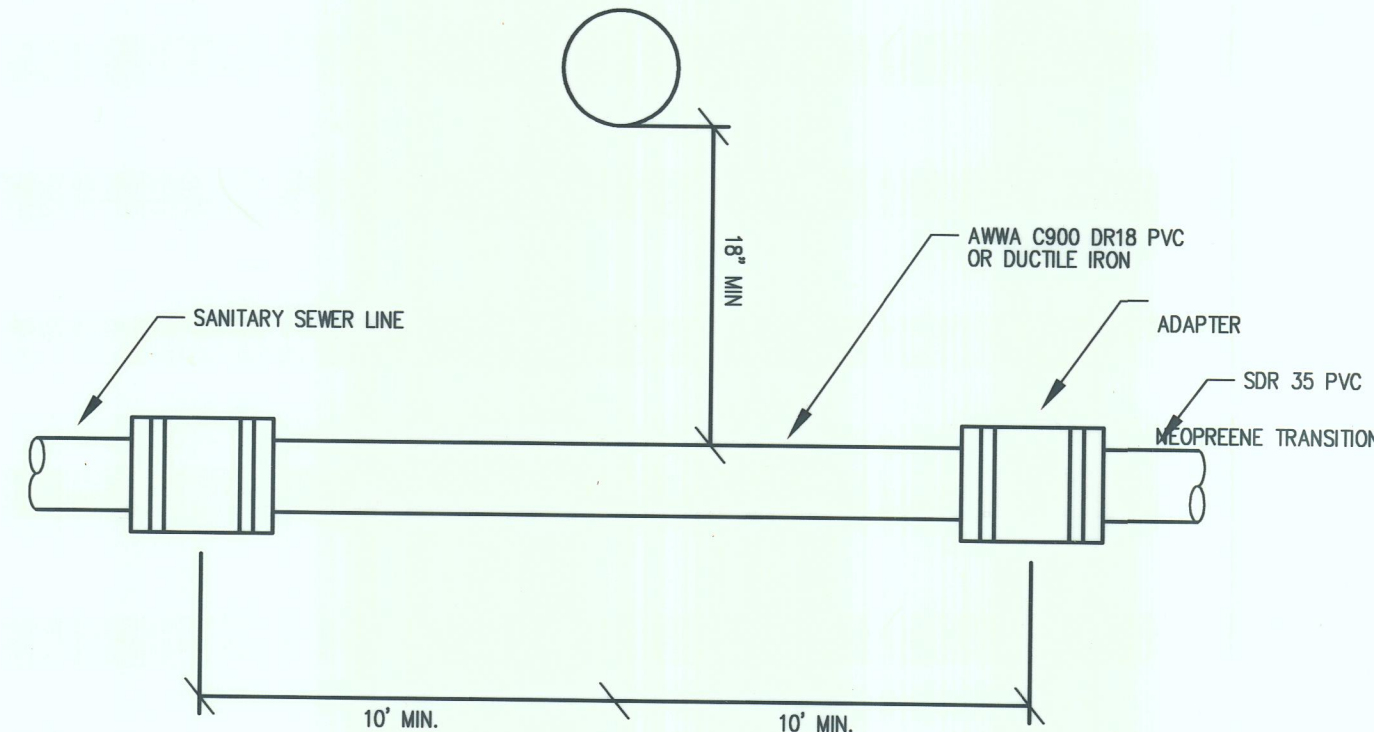
THRUST BLOCK SCHEDULE
NOT TO SCALE



HYDRANT AND VALVE DETAIL WITH RESTRAINED JOINT HYDRANT TEE
NOT TO SCALE

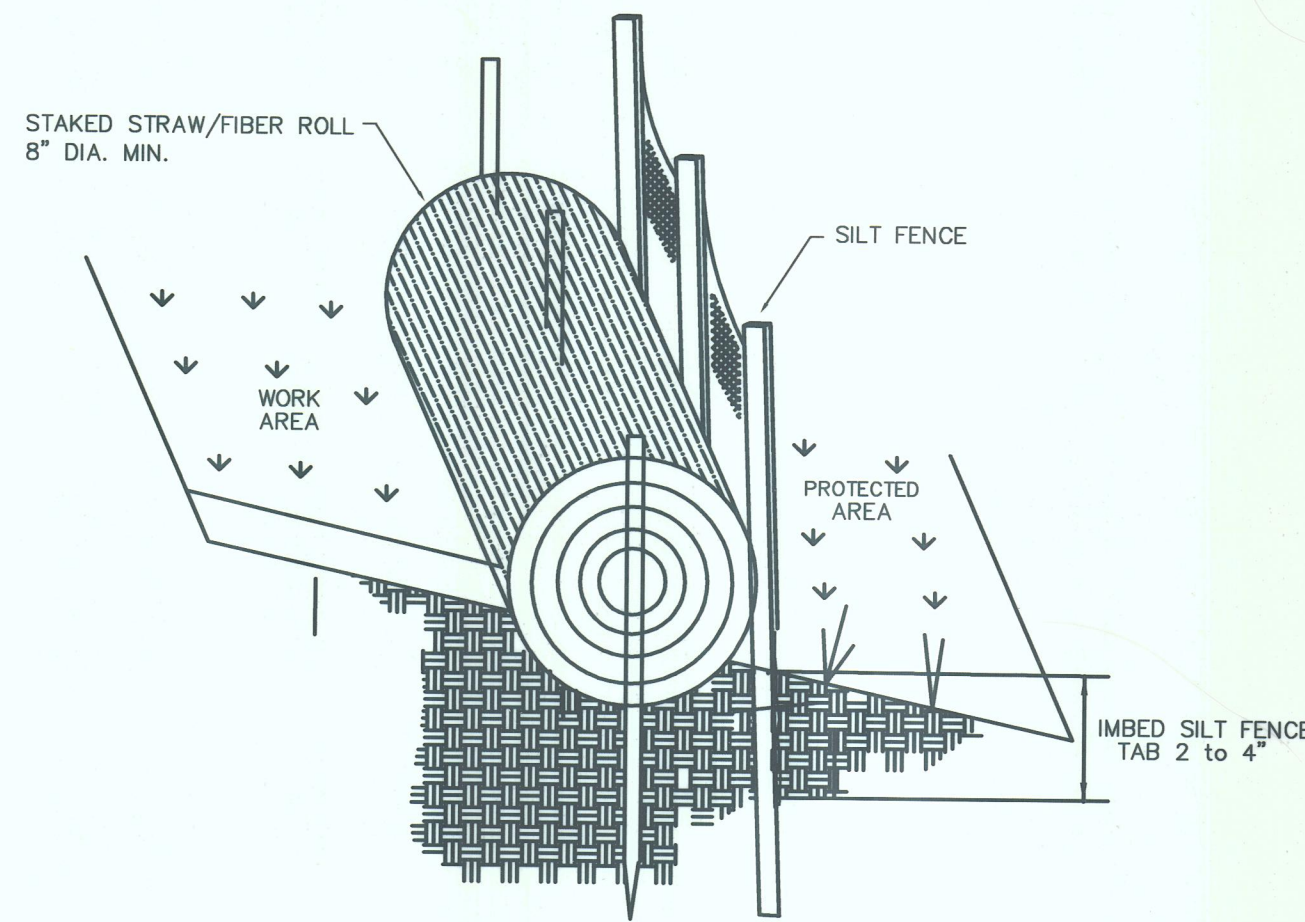


WATER SERVICE CONNECTION
NOT TO SCALE



WATER AND SEWER CROSSING
WITH VERTICAL CLEARANCE LESS THAN 2'

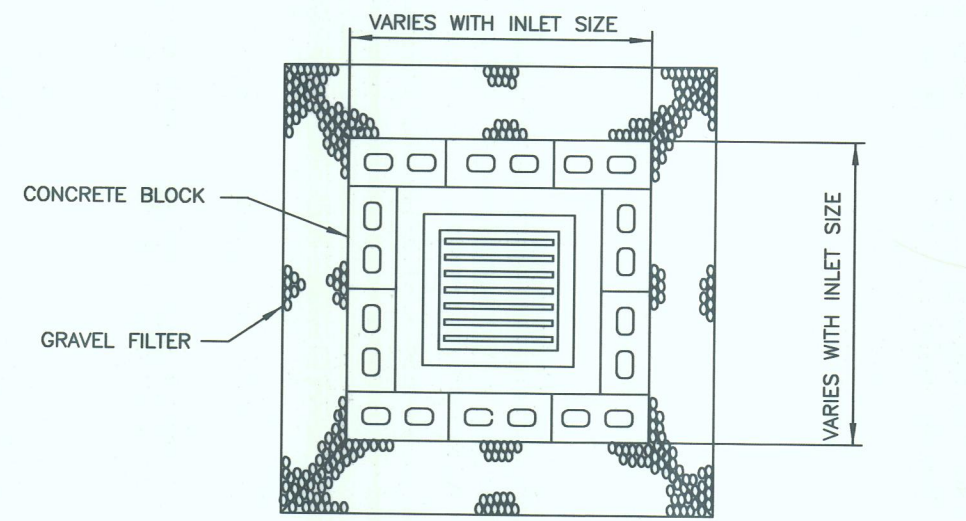
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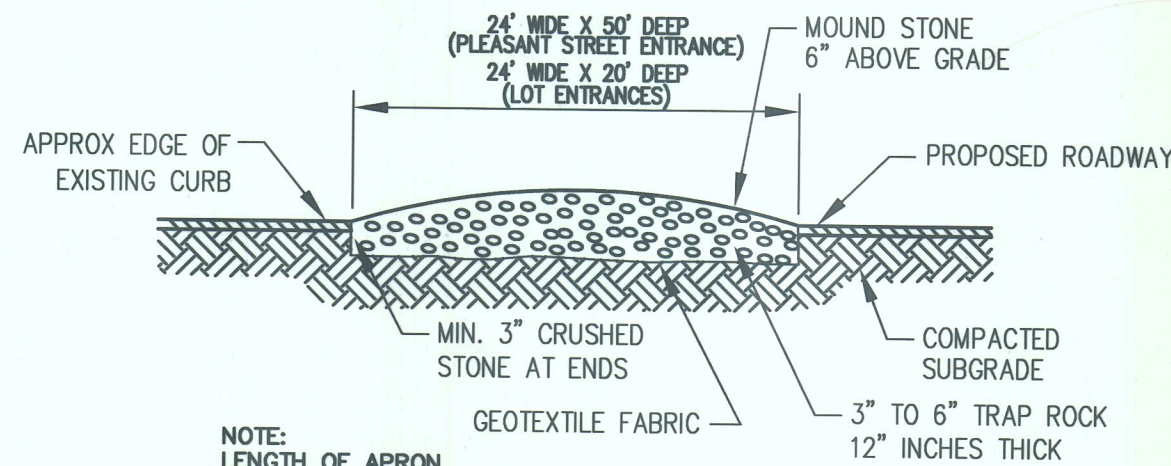
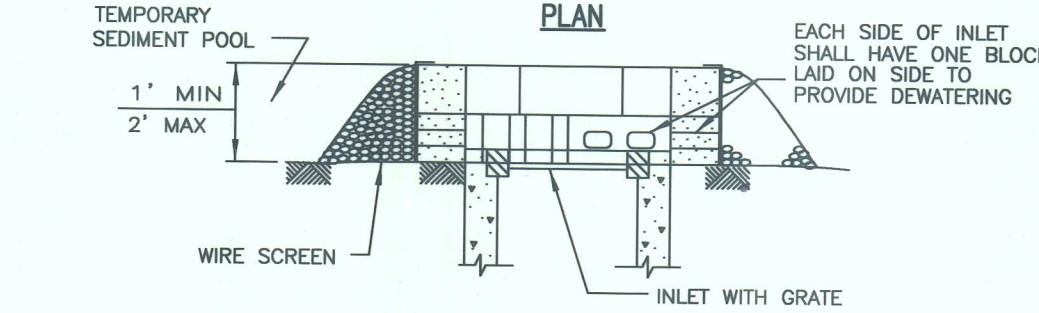
SILT FENCE/STRAW WATTLE BARRIER DETAIL
NOT TO SCALE

NOTE

- SILT FENCE AND STRAW BALES SHALL BE USED FOR THE PERIMETER EROSION BARRIER.
- SILT FENCE ALONE MAY BE USED BETWEEN LOTS.
- HAY BALES ARE NOT TO BE USED.

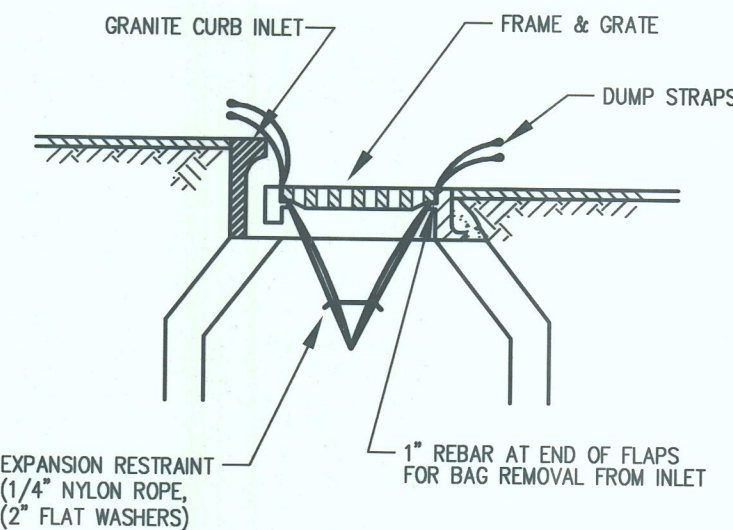


BLOCK AND GRAVEL INLET PROTECTION
NOT TO SCALE



NOTE: LENGTH OF APRON TO EXTEND FROM EXISTING PAVEMENT INTO WORK AREA AS SHOWN, OR AS REQUIRED TO PREVENT TRACKING OF MUD ONTO ROADWAYS

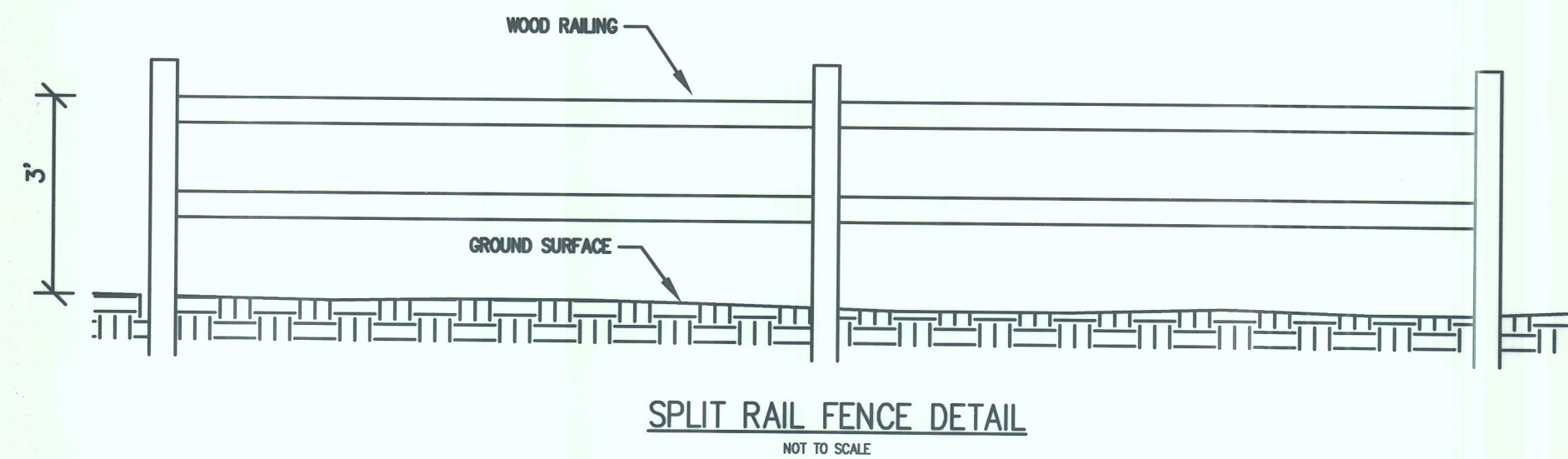
CONSTRUCTION ENTRANCE APRON
NOT TO SCALE



NOTE

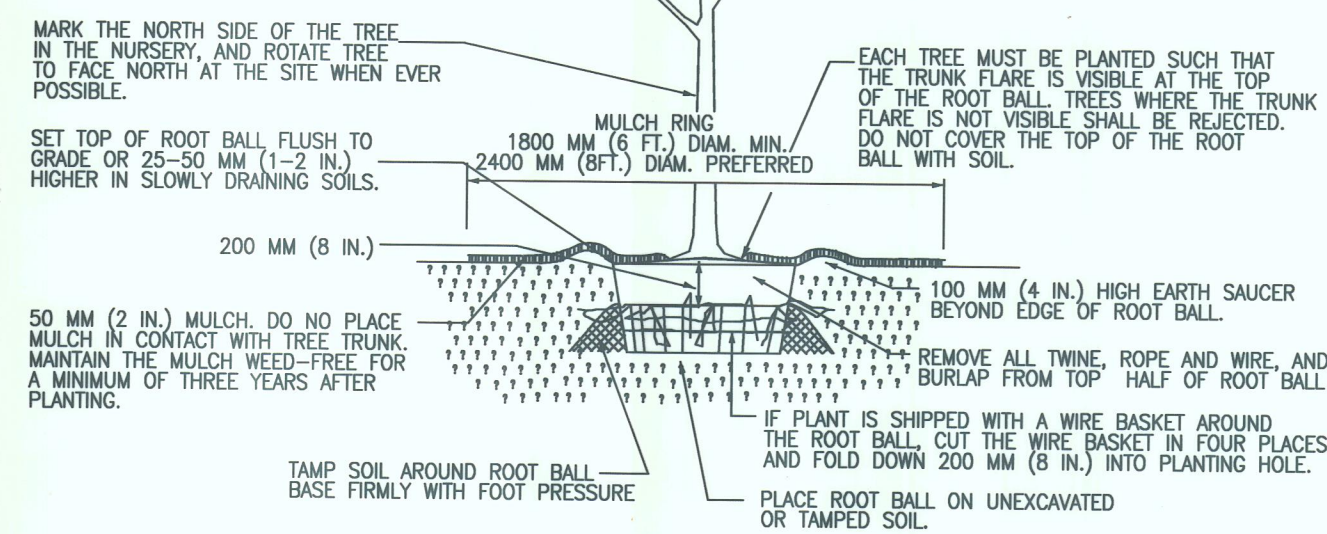
BAGS SHOULD BE CLEANED OUT AFTER EVERY RAIN EVENT AND/OR AS NEEDED.

SILT SACK DETAIL
NOT TO SCALE

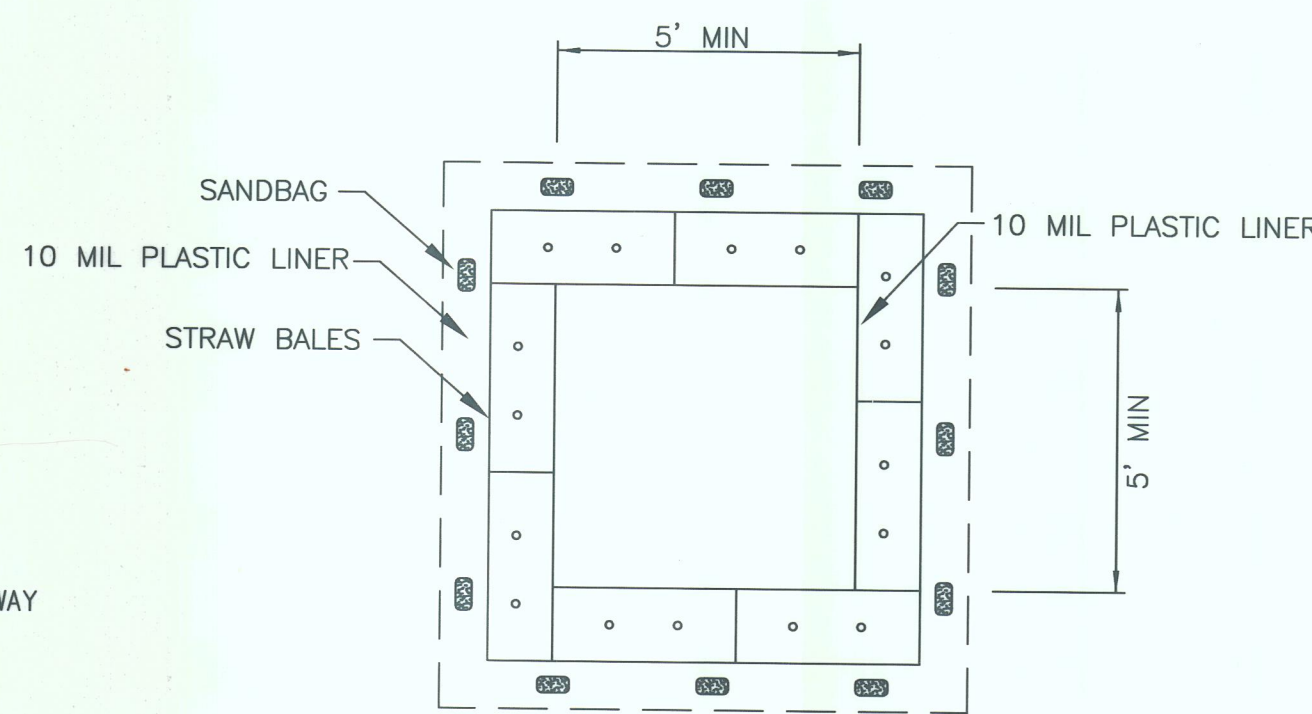


SPLIT RAIL FENCE DETAIL
NOT TO SCALE

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



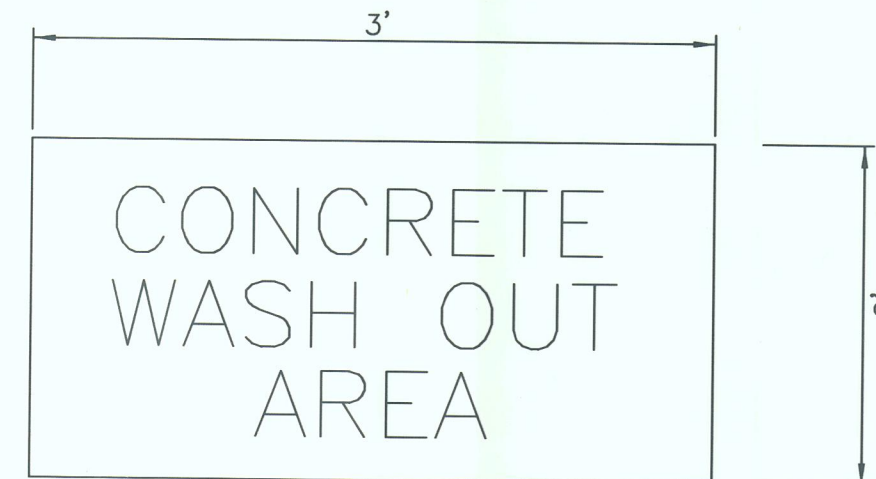
TREE PLANTING DETAIL - B&B TREES
NOT TO SCALE



CONCRETE WASHOUT AREA
NOT TO SCALE

NOTE

WASHOUT AREAS ARE PROVIDED TO PROMOTE EVAPORATION OF LIQUIDS. IF HEAVY RAINS ARE PREDICTED WASHOUT SHALL BE COVERED TO PREVENT OVERFLOWS. HARDENED SOLIDS CAN BE REMOVED AND USED FOR AGGREGATE FOR SITE AND BUILDING CONSTRUCTION.



CONCRETE WASHOUT AREA SIGNAGE
NOT TO SCALE

GRAFTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

[Signature]
[Signature]
[Signature]

DATE: 5/16/16

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[Signature] TOWN CLERK *[Signature]* DATE: 5-17-2016

SEE SHEET 2 OF 18 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVENANT DATED _____ RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

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J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
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SCALE: AS SHOWN **DATE:** MARCH 13, 2015

DETAIL PLAN 2/2

SHEET NO.: SHEET 18 OF 18 **PROJECT NO.:** G-353